



Sun Valley Elementary School: Schematic Design

NOT FOR CONSTRUCTION

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75 Happy Lane
San Rafael, CA 94901
Schematic Design

Project Number: 1123-0020
Issue Date: June 6, 2023

multistudio

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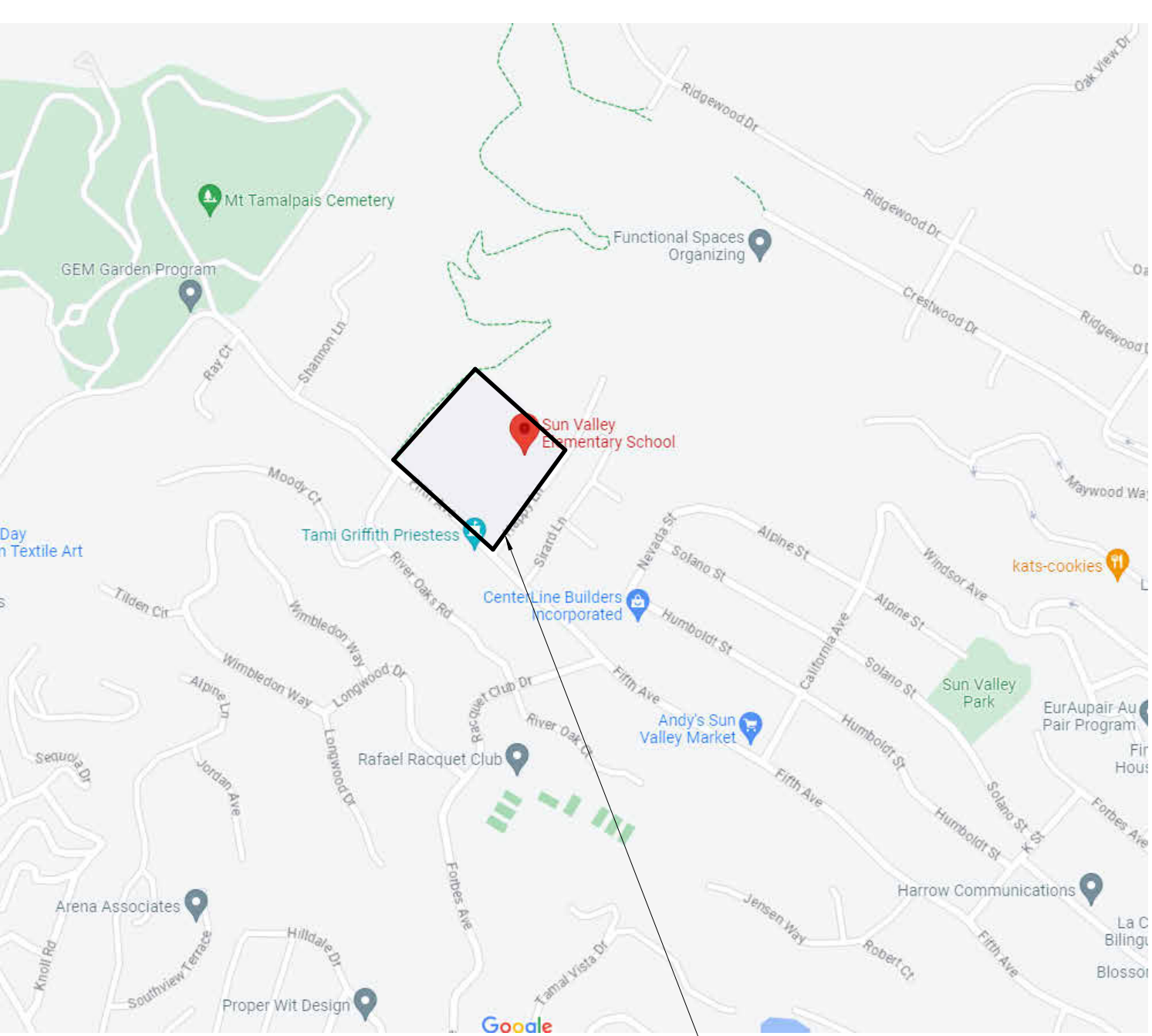
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SITE LOCATION MAP



PROJECT LOCATION

General Notes:

1.

THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.

2.

ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, AND ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

3.

DRAWINGS, SPECIFICATIONS, GENERAL AND SUPPLEMENTARY CONDITIONS ARE ESSENTIAL PARTS OF THE CONTRACT. IN THE EVENT OF ANY DISCREPANCY BETWEEN A DRAWING AND FIGURES WRITTEN THEREON, THE FIGURES, UNLESS OBVIOUSLY INCORRECT, ARE TO GOVERN OVER SCALED DIMENSIONS. IN THE CASE OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE SPECIFICATIONS ARE TO GOVERN. IF THERE IS A DISCREPANCY BETWEEN LARGE AND SMALL SCALE DETAILS, THE LARGER SCALE DETAILS ARE TO GOVERN. SUPPLEMENTARY CONDITIONS SHALL GOVERN OVER SPECIFICATIONS, DRAWINGS AND GENERAL CONDITIONS. THE CONTRACTOR SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS BETWEEN CONTRACT DOCUMENTS AS SOON AS THEY ARE DISCOVERED.

4.

NOTWITHSTANDING THE ABOVE, IN THE CASE OF INCONSISTENCY BETWEEN DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY ADDENDUM OR BY ARCHITECT'S SUPPLEMENTAL INSTRUCTION, THE BETTER QUALITY OR GREATER QUANTITY SHALL BE PROVIDED.

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PROVIDE ALL WORK INDICATED UNLESS SPECIFICALLY INDICATED AS "NOT IN CONTRACT" (NIC), "FURNISHED BY OTHERS" (FBO) OR "EXISTING".

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CONTRACT DOCUMENTS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. PROVIDE PRODUCTS COMPLETE WITH ACCESSORIES, TRIM, FINISH, FASTENERS, AND OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION AND INDICATED USE AND EFFECT.

9.

THESE NOTES ARE NOT INTENDED TO LIMIT THE RESPONSIBILITIES OF THE CONTRACTOR AS DEFINED ELSEWHERE IN THE CONTRACT DOCUMENTS

Issue Date:

June 6, 2023

Revisions

NUMBER	DESCRIPTION	DATE
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UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION

NOT FOR CONSTRUCTION

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Schematic Design

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CORRIDOR FIRE RESISTANCE RATING

TABLE 1020.1 - CORRIDOR FIRE RESISTANCE RATING

OCCUPANCY	OCCUPANCY LOAD SERVED BY CORRIOR	REQUIRED FIRE-RESISTANCE RATING (hours) WITH SPRINKLER SYSTEM
A, B, S	GREATER THAN 30	0-HR
E	GREATER THAN 10	0-HR
A-3	GREATER THAN 100	0-HR

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PARKING REQUIREMENTS:

NO ONSITE PARKING

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EXTERIOR WALL OPENINGS

TABLE 705.8: MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

DEGREE OF OPENING PROTECTION: UNPROTECTED (SPRINKLERED BUILDING)

FIRE SEPARATION DISTANCE (feet)	0-3 FT	3-5 FT	5-10 FT	10-15 FT	15-20 FT	20+ FT
ALLOWABLE AREA	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT

EXTERIOR WALLS UNDERNEATH THE PEDESTRIAN WALKWAY SHALL PREVENT THE PASSAGE OF SMOKE PER CBC 3104.5.2

15

EXIT REQUIREMENTS

CBC CHAPTER 30

ELEVATOR LOBBIES:

THE ONLY ELEVATOR IS IN THE HISTORIC MAIN BUILDING. ELEVATOR LOBBIES ARE PROVIDED AT ALL LEVELS. THERE IS NO EXISTING TWO-WAY COMMUNICATION AT THESE LOBBIES AND THEY ARE NOT PLANNED TO BE ADDED. LOBBY DOORS SHALL PREVENT THE PASSAGE OF SMOKE WHEN IN THE CLOSED POSITION.

AREA OF REFUGE:

NOT REQUIRED:
AT STAIRS PER (SECTION 1009.3.3 EXCEPTION #2)
AT ELEVATOR LOBBIES PER (SECTION 1009.4.2 EXCEPTION #2)

MAX. TRAVEL DISTANCES:

EXIT ACCESS TRAVEL DISTANCES (TABLE 1017.2)
ALLOWABLE MAXIMUM:
OCCUPANCY A, E, S-1 = 250'-0" WITH SPRINKLER SYSTEM
OCCUPANCY B = 300'-0" WITH SPRINKLER SYSTEM
OCCUPANCY S-2 = 400'-0" WITH SPRINKLER SYSTEM
OCCUPANCY A,B, E, S-1 = 200'-0" WITHOUT SPRINKLER SYSTEM

COMMON PATH OF EGRESS TRAVEL (TABLE 1006.2.1)
ALLOWABLE MAXIMUM:
OCCUPANCY A, & E = 75'-0" WITH OR WITHOUT SPRINKLER SYSTEM
OCCUPANCY B, S-1, S-2 = 100'-0" WITH SPRINKLER SYSTEM
OCCUPANCY B S-1, S-2 = 75'-0" WITHOUT SPRINKLER SYSTEM

DEAD ENDS (CBC 1020.4.2)
B, E, F, S: USE, FULLY SPRINKLERED, CBC 1020.4, EXCEPTION #2
ALLOWABLE MAXIMUM: 50'
A OCCUPANCY 20' MAXIMUM

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EXIT SIGNS

- EXIT SIGNAGE PER CBC 1013
- TACTILE EXIT SIGNS PER CBC 1013.4
- EMERGENCY POWER TO ILLUMINATE MEANS OF EGRESS AND EXTERIOR LANDINGS FOR EXIST DOORWAYS AT EXIT DISCHARGES
- STAIR IDENTIFICATION PER CBC 1023.9
- POSTING OF OCCUPANT LOAD SIGNS IN ASSEMBLY SPACES PER CBC 1004.3
- DIRECTIONAL SIGNAGE WILL BE PROVIDED PER CBC 1009.10

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FIRE HAZARD AND SEVERITY ZONE

PROJECT IS NOT LOCATED IN A FIRE HAZARD AND SEVERITY ZONE

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FIRE FLOW REQUIREMENTS

FIRE AREA FOR BUILDINGS MAIN, PEDESTRIAN WALKWAY AND ADMIN (LARGEST): 98,530 SF
REQUIRED FIRE WATER FLOW: 8,000 GPM (CFC TABLE BB105.1)
ALLOWABLE REDUCTION DE CFBC & BERKELEY FIRE DEPT.: 2,000 GPM
AVAILABLE FLOW AT 20 PSI: 3508 GPM (TEST DATA ON C200)
TEST DATE: 02/22/22
REQUIRED FIRE FLOW DURATION: 2 HR (CFC TABLE BB105.1)
MINIMUM HYDRANTS REQUIRED: 2 (CFC TABLE CC105.1)
MAX. DIST. FROM STREET/ROAD FRONTAGE TO HYDRANT: 225 FT (CFC TABLE CC105.1)
AVERAGE HYDRANT SPACING: 450 FT (CFC TABLE CC105.1)

SEE CIVIL FOR FLOW TEST SHOWING AVAILABLE WATER AT 20 PSI

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FIRE RESISTANCE RATINGS

FIRE RESISTIVE RATINGS: TABLE 601 AND 602

STRUCTURAL FRAME BEARING WALLS	0 HR
EXTERIOR	0 HR*
INTERIOR	0 HR*
NON-BEARING WALL AND PARTITIONS	
EXTERIOR	0 HR
INTERIOR	0 HR
FLOOR CONSTRUCTION ASSOCIATED SECONDARY MEMBERS	0 HR
ROOF CONSTRUCTION ASSOCIATED SECONDARY MEMBERS	0 HR
SHAFTS	0 HR

*FIRE RESISTANCE RATING OF EXTERIOR WALLS IS DETERMINED BY FIRE SEPARATION DISTANCES AND IN ACCORDANCE WITH TABLE 705.5

FIRE RESISTANCE RATING: EXTERIOR WALLS

TABLE 705.5: FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION	TYPE OF CONSTRUCTION	GROUP A, B, E, F-2, I, R, S-2, U (HOUR)
X <= 5	ALL	1-HR
5 <= X < 10	V-A & V-B	1-HR
10 <= X < 30	V-A V-B	1-HR 0-HR
X <= 30	ALL	0-HR

10

MEANS OF EGRESS

USE

OCCUPANT LOAD FACTOR (SF/OCC) CBC TABLE 1004.1.2

ASSEMBLY (UNCONCENTRATED)	15	NET
ASSEMBLY (STANDING SPACE)	5	NET
CLASSROOM	20	NET
BUSINESS (GENERAL CIRCULATION)	150	GROSS
UTILITY, STORAGE, MECHANICAL, ELECTRICAL	300	GROSS
STORAGE (PARKING GARAGE)	200	GROSS
KITCHEN COMMERCIAL	200	GROSS
LIBRARY READING ROOMS	50	NET
STACK AREA	100	GROSS
STAGES AND PLATFORMS	15	NET

EGRESS WIDTH FACTOR IN INCHES:
ALL BUILDINGS
STAIRS: 0.3
OTHER EGRESS COMPONENTS: 0.2

*PER CBC SECTION 1005.3.1 EXCEPTION 1 AND CBC SECTION 1005.3.2 EXCEPTION 1, EGRESS CAPACITY VALUES ARE CALCULATED BASED ON OCCUPANT LOAD FACTORS OF 0.2 FOR STAIRS AND 0.15 FOR OTHER EGRESS COMPONENTS. THE USE OF THESE VALUES ARE BASED ON PROVIDING AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1 (STANDARDS) OR 903.3.1.1 (NFPA 13 SPRINKLER SYSTEMS) AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC SECTION 907.5.2.2.

CORRIDOR FIRE RATING PER TABLE 1020.1: NA (NO CORRIDORS)

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FIRE PROTECTION SYSTEMS

FIRE PROTECTION DESIGN SHALL COMPLY WITH THE LATEST EDITIONS OF THE LISTED CODES AND STANDARDS IN SECTION 04, THIS SHEET.

CONSTRUCTION TYPE: TYPE V-B FOR NEW BUILDINGS

FIRE ALARM SYSTEM: PROJECT WILL HAVE FIRE ALARM SYSTEM PER 2022 CBC CHAPTER 9 AND INSTALLED IN ACCORDANCE WITH 2022 NFPA 13 & 72

EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM (EVACS): EVACS ARE DESIGNED IN ACCORDANCE WITH NFPA 72

AUTOMATIC SMOKE DETECTION: GROUP E: PER CBC 907.2.3.6.1

CARBON MONOXIDE DETECTION: PER CBC 915

STANDPIPE SYSTEM: NEW CONSTRUCTION WILL NOT REQUIRE STANDPIPES AS BUILDINGS ARE NOT MORE THAN 35 FEET ABOVE GRADE PLANE AND ARE ONLY ONE STORY.

PORTABLE FIRE EXTINGUISHERS: REQUIRED TO BE PROVIDED IN LOCATIONS AS REQ'D BY CFC SECTIONS 906 & CCR TITLE 19 DIVISION 1 CHAPTER 3

FIRE DEPARTMENT CONNECTIONS: REQUIRED TO BE INSTALLED IN ACCORDANCE WITH SECTION 912 AND NFPA 14 AND WHERE APPROVED BY DSA AND BERKELEY FIRE DEPARTMENT.

FIRE DEPARTMENT KEY BOXES: KNOX BOXES TO BE PROVIDED IN ACCORDANCE WITH CITY OF BERKELEY FIRE DEPARTMENT

ROOF ASSEMBLIES/COVERINGS: ALL ROOF ASSEMBLIES AT TYPE V-B CONSTRUCTION TO BE CLASS-C MINIMUM PER TABLE 1505.1. AREA ON TOP OF NEW CANOPIES TO BE CLASS B MINIMUM DUE TO PROXIMITY TO IMAGINARY PROPERTY LINE PER 705.11

05

CONSTRUCTION TYPE

BLDG A, B, C (E) CLASSROOM BUILDINGS W/ADMIN WING, CONSTRUCTION TYPE V-N, NON-SPRINKLERED
BLDG D (E) CLASSROOM BUILDING, CONSTRUCTION TYPE V-B, SPRINKLERED
MPR (E) MUTLI-PURPOSE BUILDING, CONSTRUCTION TYPE V-B, SPRINKLERED
TK BUILDING (N) TK CLASSROOM BUILDING, CONSTRUCTION TYPE V-B, NON-SPRINKLERED

06

OCCUPANCY CLASSIFICATION

THIS PROJECT IS A MIXED-USE, NON-SEPARATED OCCUPANCY IN ACCORDANCE WITH CBC SECTION 508.3, CONSISTING WITH THE FOLLOWING OCCUPANCIES:

CLASSROOM	E
STORAGE/ ELECTRICAL/ IDF	S-2
OFFICE, SUPPORT SPACES	B

PRIMARY USE: E: CLASSROOMS

07

OCCUPANCY SEPARATION

THE PROJECT IS DESIGNED FOR THE NON-SEPARATED USE PROVISION

THE MOST RESTRICTIVE REQUIREMENTS OF CBC CHAPTERS 5 AND 9 WILL APPLY DUE TO THE NON-SEPARATED MIXED-USE APPROACH (PER CBC SECTION 508.3).

08

BUILDING HEIGHT NUMBER OF STORIES & AREA

ALLOWABLE BUILDING AREA, HEIGHT & STORY TABULATION

EXISTING BLDGS ARE NOT PART OF SCOPE AND ARE SHOWN ONLY TO CALCULATE THE SIZE OF THE SAFETY DISPERSAL AREA.

BLDG #	AREA (SF)	# OCCUPANTS
A	7,622	179
B	2,883	116
C	4,785	187
D	6,906	528
MPR	8,202	367
TOTAL	30,398	1,377

01

DEFERRED SUBMITTALS

NO DEFERRED SUBMITTAL

02

PROJECT DESCRIPTION

- NEW CONSTRUCTION OF A 4,160 SF TRANSITIONAL KINDERGARTEN (TK) BUILDING. THREE CLASSROOMS EACH WITH A SINGLE OCCUPANCY RESTROOM.
- TK PLAY YARD
- ACCESSIBILITY UPGRADES TO EXISTING PARKING LOT.
- TWO (2) NEW PC LUNCH SHADE STRUCTURES AND ASSOCIATED SITE WORK.
- RELOCATION OF UTILITIES UNDER NEW BUILDING LOCATION.
- NEW FIRE ACCESS TO REMODELED SECTION OF SITE.

03

PROJECT ADDRESS

75 HAPPY LN, SAN RAFAEL, CA 94901

04

APPLICABLE CODES & AGENCIES

1. THE CALIFORNIA BUILDING CODE -- TITLE 24 AS ADOPTED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION. (2019)
2022 CA BUILDING STANDARDS ADMINISTRATIVE CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA HISTORIC BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA REFERENCE STANDARDS CODE
CCR TITLE 19. PUBLIC SAFETY: DIVISION 1. STATE FIRE MARSHAL
2022 NFPA 13 – STANDARD FOR THE INSTALLATION OF FIRE SPRINKLERS*
2019 NFPA 14 – STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEM*
2019 NFPA 24 – STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES*
2013 NFPA 25 – CALIFORNIA EDITION, INSPECTIONS, TESTING & MAINTENANCE OF WATER BASED FIRE PROTECTION SYSTEMS
2022 NFPA 72 – NATIONAL FIRE ALARM AND SIGNALING CODE*
2016 NFPA 80 - FIRE AND OTHER OPENING PROTECTIVES

2. THE CALIFORNIA ADMINISTRATIVE CODE, TITLE 19 (INDUSTRIAL RELATIONS, PUBLIC SAFETY)

3. THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT

4. THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, LATEST EDITION

5. REQUIREMENTS OF THE REGIONAL WATER QUALITY BOARD

6. PUBLIC CONTRACT CODE, SECTIONS 10700 ET SEQ. (CALIFORNIA SATE CONTRACT LAW)

7. STATE/LOCAL HEALTH DEPARTMENTS (REGARDING FOOD SERVICES, POOLS, ETC.)

8. AIR QUALITY MANAGEMENT DISTRICT REGULATIONS

9. AMERICANS WITH DISABILITIES ACT (ADA), TITLE II, ADAS & ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

10. LOCAL PUBLIC AGENCY STANDARDS.

11. ASHRAE INDOOR AIR QUALITY STANDARD 62-1989.

1.4 DSA SUPPLEMENTARY CONDITIONS:

1. THE FOLLOWING INFORMATION FROM PART ONE, TITLE 24 CCR SHALL BE INCLUDED IN THE CONTRACT DOCUMENTS:

- ALL ADDENDA AS PER SECTION 4-338, PART 1, SHALL BE SIGNED BY ARCHITECT, STRUCTURAL ENGINEER OR PROFESSIONAL ENGINEER AND APPROVED BY DSA.
- ALL CONSTRUCTION CHANGE DOCUMENT MUST BE SIGNED BY ALL OF THE FOLLOWING, PRIOR TO COMMENCEMENT OF WORK CHANGES:
 - A. A/E OF RECORD
 - B. STRUCTURAL ENGINEER (WHEN APPLICABLE)
 - C. DELEGATED PROFESSIONAL ENGINEER (WHEN APPLICABLE) AND APPROVED BY DSA

2. ALL SUBSTITUTIONS AFFECTING DSA REGULATED ITEMS SHALL BE CONSIDERED AS A CONSTRUCTION CHANGE DOCUMENT OR ADDENDA, AND SHALL BE APPROVED BY DSA PRIOR TO FABRICATION AND INSTALLATION. (IR A-6) (SECTION 4-338(c), PART 1). SUBSTITUTIONS SHALL BE FOR ANY MATERIAL, SYSTEM OR PRODUCT THAT WOULD OTHERWISE BE REGULATED BY DSA.

3. CONTRACTOR SHALL SUBMIT VERIFIED REPORT PER SECTION 4-336 AND 4-343 (C)ADMINISTRATION OF CONSTRUCTION PER PART I, TITLE 24, C.C.R.,

- A. DUTIES OF ARCHITECT, STRUCTURAL ENGINEER, OR PROFESSIONAL ENGINEER PER SECTION 4-333 (a) AND 4-341
- B. DUTIES OF CONTRACTOR PER SECTION 4-343
- C. VERIFIED REPORTS PER SECTION 4-336

4. A COPY OF PART 1 THROUGH 5 OF TITLE 24 SHALL BE KEPT AND AVAILABLE IN THE FIELD DURING CONSTRUCTION. PROJECT SHALL COMPLY WITH PARTS 1 THRU 6 AND 9 OF TITLE 24

5. DSA SHALL BE NOTIFIED ON START OF CONSTRUCTION PER SECTION 4-331

6. SUPERVISION BY DSA PER SECTION 4-334

7. DSA IS NOT SUBJECT TO ARBITRATION

8. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT, TO BE APPROVED BY DSA AS REQUIRED BY SECTION 4-338, PART 1, TITLE-24, C.C.R.

9. A PROJECT INSPECTOR, EMPLOYED BY THE OWNER, AND APPROVED BY THE DIVISION-3 DSA, SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK, AS REQUIRED BY DSA. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1. TITLE-24 C.C.R

10. A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.

11. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD ABD ACCESS REQUIREMENTS AND ENVIROMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

GENERAL NOTES:

1. DIMENSIONS ARE TAKEN FROM FINISH FACE OF WALL UNLESS OTHERWISE INDICATED. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL; PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.

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OCCUPANCY S-2 = 400'-0" WITH SPRINKLER SYSTEM
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DEAD ENDS (CBC 1020.4.2)
B, E, F, S: USE, FULLY SPRINKLERED, CBC 1020.4, EXCEPTION #2
ALLOWABLE MAXIMUM: 50'
A OCCUPANCY 20' MAXIMUM

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EXIT SIGNS

- EXIT SIGNAGE PER CBC 1013
- TACTILE EXIT SIGNS PER CBC 1013.4
- EMERGENCY POWER TO ILLUMINATE MEANS OF EGRESS AND EXTERIOR LANDINGS FOR EXIST DOORWAYS AT EXIT DISCHARGES
- STAIR IDENTIFICATION PER CBC 1023.9
- POSTING OF OCCUPANT LOAD SIGNS IN ASSEMBLY SPACES PER CBC 1004.3
- DIRECTIONAL SIGNAGE WILL BE PROVIDED PER CBC 1009.10

17

FIRE HAZARD AND SEVERITY ZONE

PROJECT IS NOT LOCATED IN A FIRE HAZARD AND SEVERITY ZONE

18

FIRE FLOW REQUIREMENTS

FIRE AREA FOR BUILDINGS MAIN, PEDESTRIAN WALKWAY AND ADMIN (LARGEST): 98,530 SF
REQUIRED FIRE WATER FLOW: 8,000 GPM (CFC TABLE BB105.1)
ALLOWABLE REDUCTION DE CFBC & BERKELEY FIRE DEPT.: 2,000 GPM
AVAILABLE FLOW AT 20 PSI: 3508 GPM (TEST DATA ON C200)
TEST DATE: 02/22/22
REQUIRED FIRE FLOW DURATION: 2 HR (CFC TABLE BB105.1)
MINIMUM HYDRANTS REQUIRED: 2 (CFC TABLE CC105.1)
MAX. DIST. FROM STREET/ROAD FRONTAGE TO HYDRANT: 225 FT (CFC TABLE CC105.1)
AVERAGE HYDRANT SPACING: 450 FT (CFC TABLE CC105.1)

SEE CIVIL FOR FLOW TEST SHOWING AVAILABLE WATER AT 20 PSI

09

FIRE RESISTANCE RATINGS

FIRE RESISTIVE RATINGS: TABLE 601 AND 602

STRUCTURAL FRAME BEARING WALLS	0 HR
EXTERIOR	0 HR*
INTERIOR	0 HR*
NON-BEARING WALL AND PARTITIONS	
EXTERIOR	0 HR
INTERIOR	0 HR
FLOOR CONSTRUCTION ASSOCIATED SECONDARY MEMBERS	0 HR
ROOF CONSTRUCTION ASSOCIATED SECONDARY MEMBERS	0 HR
SHAFTS	0 HR

*FIRE RESISTANCE RATING OF EXTERIOR WALLS IS DETERMINED BY FIRE SEPARATION DISTANCES AND IN ACCORDANCE WITH TABLE 705.5

FIRE RESISTANCE RATING: EXTERIOR WALLS

TABLE 705.5: FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION	TYPE OF CONSTRUCTION	GROUP A, B, E, F-2, I, R, S-2, U (HOUR)
X <= 5	ALL	1-HR
5 <= X < 10	V-A & V-B	1-HR
10 <= X < 30	V-A V-B	1-HR 0-HR
X <= 30	ALL	0-HR

10

MEANS OF EGRESS

USE

OCCUPANT LOAD FACTOR (SF/OCC) CBC TABLE 1004.1.2

ASSEMBLY (UNCONCENTRATED)	15	NET
ASSEMBLY (STANDING SPACE)	5	NET
CLASSROOM	20	NET
BUSINESS (GENERAL CIRCULATION)	150	GROSS
UTILITY, STORAGE, MECHANICAL, ELECTRICAL	300	GROSS
STORAGE (PARKING GARAGE)	200	GROSS
KITCHEN COMMERCIAL	200	GROSS
LIBRARY READING ROOMS	50	NET
STACK AREA	100	GROSS
STAGES AND PLATFORMS	15	NET

EGRESS WIDTH FACTOR IN INCHES:
ALL BUILDINGS
STAIRS: 0.3
OTHER EGRESS COMPONENTS: 0.2

*PER CBC SECTION 1005.3.1 EXCEPTION 1 AND CBC SECTION 1005.3.2 EXCEPTION 1, EGRESS CAPACITY VALUES ARE CALCULATED BASED ON OCCUPANT LOAD FACTORS OF 0.2 FOR STAIRS AND 0.15 FOR OTHER EGRESS COMPONENTS. THE USE OF THESE VALUES ARE BASED ON PROVIDING AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1 (STANDARDS) OR 903.3.1.1 (NFPA 13 SPRINKLER SYSTEMS) AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC SECTION 907.5.2.2.

CORRIDOR FIRE RATING PER TABLE 1020.1: NA (NO CORRIDORS)

11

FIRE PROTECTION SYSTEMS

FIRE PROTECTION DESIGN SHALL COMPLY WITH THE LATEST EDITIONS OF THE LISTED CODES AND STANDARDS IN SECTION 04, THIS SHEET.

CONSTRUCTION TYPE: TYPE V-B FOR NEW BUILDINGS

FIRE ALARM SYSTEM: PROJECT WILL HAVE FIRE ALARM SYSTEM PER 2022 CBC CHAPTER 9 AND INSTALLED IN ACCORDANCE WITH 2022 NFPA 13 & 72

EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM (EVACS): EVACS ARE DESIGNED IN ACCORDANCE WITH NFPA 72

AUTOMATIC SMOKE DETECTION: GROUP E: PER CBC 907.2.3.6.1

CARBON MONOXIDE DETECTION: PER CBC 915

STANDPIPE SYSTEM: NEW CONSTRUCTION WILL NOT REQUIRE STANDPIPES AS BUILDINGS ARE NOT MORE THAN 35 FEET ABOVE GRADE PLANE AND ARE ONLY ONE STORY.

PORTABLE FIRE EXTINGUISHERS: REQUIRED TO BE PROVIDED IN LOCATIONS AS REQ'D BY CFC SECTIONS 906 & CCR TITLE 19 DIVISION 1 CHAPTER 3

FIRE DEPARTMENT CONNECTIONS: REQUIRED TO BE INSTALLED IN ACCORDANCE WITH SECTION 912 AND NFPA 14 AND WHERE APPROVED BY DSA AND BERKELEY FIRE DEPARTMENT.

FIRE DEPARTMENT KEY BOXES: KNOX BOXES TO BE PROVIDED IN ACCORDANCE WITH CITY OF BERKELEY FIRE DEPARTMENT

ROOF ASSEMBLIES/COVERINGS: ALL ROOF ASSEMBLIES AT TYPE V-B CONSTRUCTION TO BE CLASS-C MINIMUM PER TABLE 1505.1. AREA ON TOP OF NEW CANOPIES TO BE CLASS B MINIMUM DUE TO PROXIMITY TO IMAGINARY PROPERTY LINE PER 705.11

05

CONSTRUCTION TYPE

BLDG A, B, C (E) CLASSROOM BUILDINGS W/ADMIN WING, CONSTRUCTION TYPE V-N, NON-SPRINKLERED
BLDG D (E) CLASSROOM BUILDING, CONSTRUCTION TYPE V-B, SPRINKLERED
MPR (E) MUTLI-PURPOSE BUILDING, CONSTRUCTION TYPE V-B, SPRINKLERED
TK BUILDING (N) TK CLASSROOM BUILDING, CONSTRUCTION TYPE V-B, NON-SPRINKLERED

06

OCCUPANCY CLASSIFICATION

THIS PROJECT IS A MIXED-USE, NON-SEPARATED OCCUPANCY IN ACCORDANCE WITH CBC SECTION 508.3, CONSISTING WITH THE FOLLOWING OCCUPANCIES:

CLASSROOM	E
STORAGE/ ELECTRICAL/ IDF	S-2
OFFICE, SUPPORT SPACES	B

PRIMARY USE: E: CLASSROOMS

07

OCCUPANCY SEPARATION

THE PROJECT IS DESIGNED FOR THE NON-SEPARATED USE PROVISION

THE MOST RESTRICTIVE REQUIREMENTS OF CBC CHAPTERS 5 AND 9 WILL APPLY DUE TO THE NON-SEPARATED MIXED-USE APPROACH (PER CBC SECTION 508.3).

08

BUILDING HEIGHT NUMBER OF STORIES & AREA

ALLOWABLE BUILDING AREA, HEIGHT & STORY TABULATION

EXISTING BLDGS ARE NOT PART OF SCOPE AND ARE SHOWN ONLY TO CALCULATE THE SIZE OF THE SAFETY DISPERSAL AREA.

BLDG #	AREA (SF)	# OCCUPANTS
A	7,622	179
B	2,883	116
C	4,785	187
D	6,906	528
MPR	8,202	367
TOTAL	30,398	1,377

01

DEFERRED SUBMITTALS

NO DEFERRED SUBMITTAL

02

PROJECT DESCRIPTION

- NEW CONSTRUCTION OF A 4,160 SF TRANSITIONAL KINDERGARTEN (TK) BUILDING. THREE CLASSROOMS EACH WITH A SINGLE OCCUPANCY RESTROOM.
- TK PLAY YARD
- ACCESSIBILITY UPGRADES TO EXISTING PARKING LOT.
- TWO (2) NEW PC LUNCH SHADE STRUCTURES AND ASSOCIATED SITE WORK.
- RELOCATION OF UTILITIES UNDER NEW BUILDING LOCATION.
- NEW FIRE ACCESS TO REMODELED SECTION OF SITE.

03

PROJECT ADDRESS

75 HAPPY LN, SAN RAFAEL, CA 94901

04

APPLICABLE CODES & AGENCIES

1. THE CALIFORNIA BUILDING CODE -- TITLE 24 AS ADOPTED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION. (2019)
2022 CA BUILDING STANDARDS ADMINISTRATIVE CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA HISTORIC BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA REFERENCE STANDARDS CODE
CCR TITLE 19. PUBLIC SAFETY: DIVISION 1. STATE FIRE MARSHAL
2022 NFPA 13 – STANDARD FOR THE INSTALLATION OF FIRE SPRINKLERS*
2019 NFPA 14 – STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEM*
2019 NFPA 24 – STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES*
2013 NFPA 25 – CALIFORNIA EDITION, INSPECTIONS, TESTING & MAINTENANCE OF WATER BASED FIRE PROTECTION SYSTEMS
2022 NFPA 72 – NATIONAL FIRE ALARM AND SIGNALING CODE*
2016 NFPA 80 - FIRE AND OTHER OPENING PROTECTIVES

2. THE CALIFORNIA ADMINISTRATIVE CODE, TITLE 19 (INDUSTRIAL RELATIONS, PUBLIC SAFETY)

3. THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT

4. THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, LATEST EDITION

5. REQUIREMENTS OF THE REGIONAL WATER QUALITY BOARD

6. PUBLIC CONTRACT CODE, SECTIONS 10700 ET SEQ. (CALIFORNIA SATE CONTRACT LAW)

7. STATE/LOCAL HEALTH DEPARTMENTS (REGARDING FOOD SERVICES, POOLS, ETC.)

8. AIR QUALITY MANAGEMENT DISTRICT REGULATIONS

9. AMERICANS WITH DISABILITIES ACT (ADA), TITLE II, ADAS & ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

10. LOCAL PUBLIC AGENCY STANDARDS.

11. ASHRAE INDOOR AIR QUALITY STANDARD 62-1989.

1.4 DSA SUPPLEMENTARY CONDITIONS:

1. THE FOLLOWING INFORMATION FROM PART ONE, TITLE 24 CCR SHALL BE INCLUDED IN THE CONTRACT DOCUMENTS:

- ALL ADDENDA AS PER SECTION 4-338, PART 1, SHALL BE SIGNED BY ARCHITECT, STRUCTURAL ENGINEER OR PROFESSIONAL ENGINEER AND APPROVED BY DSA.
- ALL CONSTRUCTION CHANGE DOCUMENT MUST BE SIGNED BY ALL OF THE FOLLOWING, PRIOR TO COMMENCEMENT OF WORK CHANGES:
 - A. A/E OF RECORD
 - B. STRUCTURAL ENGINEER (WHEN APPLICABLE)
 - C. DELEGATED PROFESSIONAL ENGINEER (WHEN APPLICABLE) AND APPROVED BY DSA

2. ALL SUBSTITUTIONS AFFECTING DSA REGULATED ITEMS SHALL BE CONSIDERED AS A CONSTRUCTION CHANGE DOCUMENT OR ADDENDA, AND SHALL BE APPROVED BY DSA PRIOR TO FABRICATION AND INSTALLATION. (IR A-6) (SECTION 4-338(c), PART 1). SUBSTITUTIONS SHALL BE FOR ANY MATERIAL, SYSTEM OR PRODUCT THAT WOULD OTHERWISE BE REGULATED BY DSA.

3. CONTRACTOR SHALL SUBMIT VERIFIED REPORT PER SECTION 4-336 AND 4-343 (C)ADMINISTRATION OF CONSTRUCTION PER PART I, TITLE 24, C.C.R.,

- A. DUTIES OF ARCHITECT, STRUCTURAL ENGINEER, OR PROFESSIONAL ENGINEER PER SECTION 4-333 (a) AND 4-341
- B. DUTIES OF CONTRACTOR PER SECTION 4-343
- C. VERIFIED REPORTS PER SECTION 4-336

4. A COPY OF PART 1 THROUGH 5 OF TITLE 24 SHALL BE KEPT AND AVAILABLE IN THE FIELD DURING CONSTRUCTION. PROJECT SHALL COMPLY WITH PARTS 1 THRU 6 AND 9 OF TITLE 24

5. DSA SHALL BE NOTIFIED ON START OF CONSTRUCTION PER SECTION 4-331

6. SUPERVISION BY DSA PER SECTION 4-334

7. DSA IS NOT SUBJECT TO ARBITRATION

8. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT, TO BE APPROVED BY DSA AS REQUIRED BY SECTION 4-338, PART 1, TITLE-24, C.C.R.

9. A PROJECT INSPECTOR, EMPLOYED BY THE OWNER, AND APPROVED BY THE DIVISION-3 DSA, SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK, AS REQUIRED BY DSA. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1. TITLE-24 C.C.R

10. A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.

11. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD ABD ACCESS REQUIREMENTS AND ENVIROMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

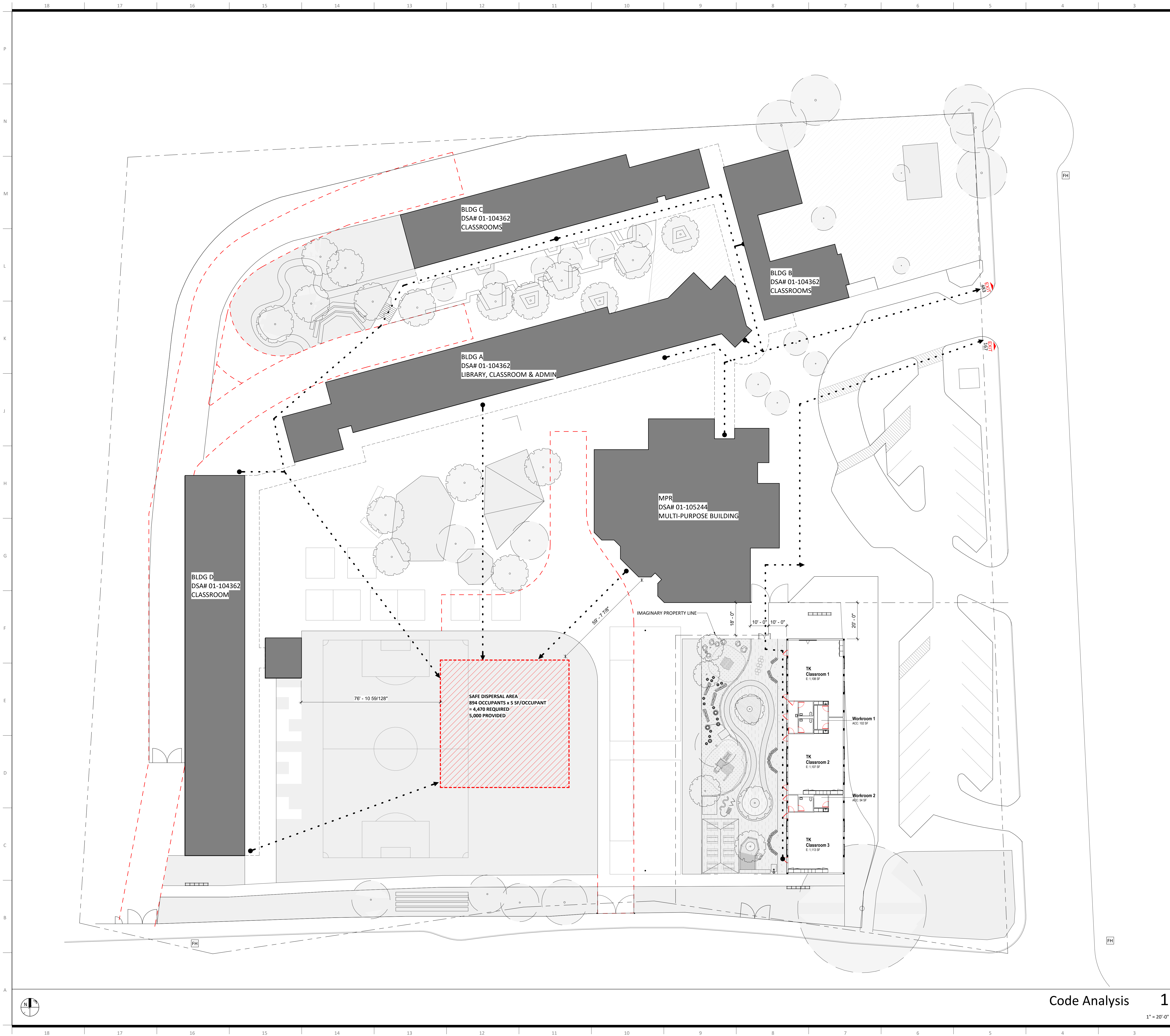
GENERAL NOTES:

1. DIMENSIONS ARE TAKEN FROM FINISH FACE OF WALL UNLESS OTHERWISE INDICATED. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL; PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.

2. ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, AND ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

3. DRAWINGS, SPECIFICATIONS, GENERAL AND SUPPLEMENTARY CONDITIONS ARE ESSENTIAL PARTS OF THE CONTRACT. IN THE EVENT OF ANY DISCREPANCY BETWEEN A DRAWING AND FIGURES WRITTEN THEREON, THE FIGURES, UNLESS OBVIOUSLY INCORRECT, ARE TO GOVERN OVER SCALED DIMENSIONS. IN THE CASE OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE SPECIFICATIONS ARE TO GOVERN. IF THERE IS A DISCREPANCY BETWEEN LARGE AND SMALL SCALE DETAILS, THE LARGER SCALE DETAILS ARE TO GOVERN. SUPPLEMENTARY CONDITIONS SHALL GOVERN OVER SPECIFICATIONS, DRAWINGS AND GENERAL CONDITIONS. THE CONTRACTOR SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS BETWEEN CONTRACT DOCUMENTS AS SOON AS THEY ARE DISCOVERED.

4. NOTWITHSTANDING THE ABOVE, IN THE CASE OF INCONSISTENCY BETWEEN DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY ADD



General Notes (Code Plans):

1. ALL WORK, MATERIALS, AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.

2. CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE AND LIABLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, INCLUDING EXTERIOR PEDESTRIAN AND TRAFFIC BARRIERS. ALL WORK SHALL CONFORM TO ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.

3. THE SIZE, TYPE, QUANTITY, AND LOCATION OF ALL TEMPORARY FIRE EXTINGUISHERS SHALL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.

4. COORDINATE LOCATION OF KNOX BOX WITH ARCHITECT, OWNER'S REPRESENTATIVE, AND THE AUTHORITY HAVING JURISDICTION IN THE FIELD.

Code Plan Legend:

Egress Path of Travel

Distance to Exit

Common Path of Travel Distance

100'

50' CPT

Egress Point

Opening width

Allowable # of Occupants

Required # of Occupants

30" (240 SF)

EXIT

Stair Egress

Allowable | Actual Occupants

Actual | Minimum Width

140 | 120

48" | 40"

Stair 1

Occupancy Tag

Occupancy Group

Area

Occupant Load

Room name

110 SF = 28"

Fire Extinguisher Radius

75' Typ

Fire Hydrant

FH

Issue Date:

June 6, 2023

Revisions

NUMBER	DESCRIPTION	DATE
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NOT FOR CONSTRUCTION

Life Safety Plan

LS101

Schematic Design

multistudio

Sun Valley Elementary School

75 Happy Lane
San Rafael, CA 94901

Project Number: 1123-0020

owner:
San Rafael City Schools
310 Nova Alborn Way
San Rafael, CA 94903
415.492.3200
www.srics.org

architect:
Multistudio
156 South Park
San Francisco, CA 94107
415.844.2310
multi.studio

civil engineer:
BKF Engineers
255 Shoreline Drive, #200
Redwood City, CA 94065
650.482.6300
www.bkf.com/

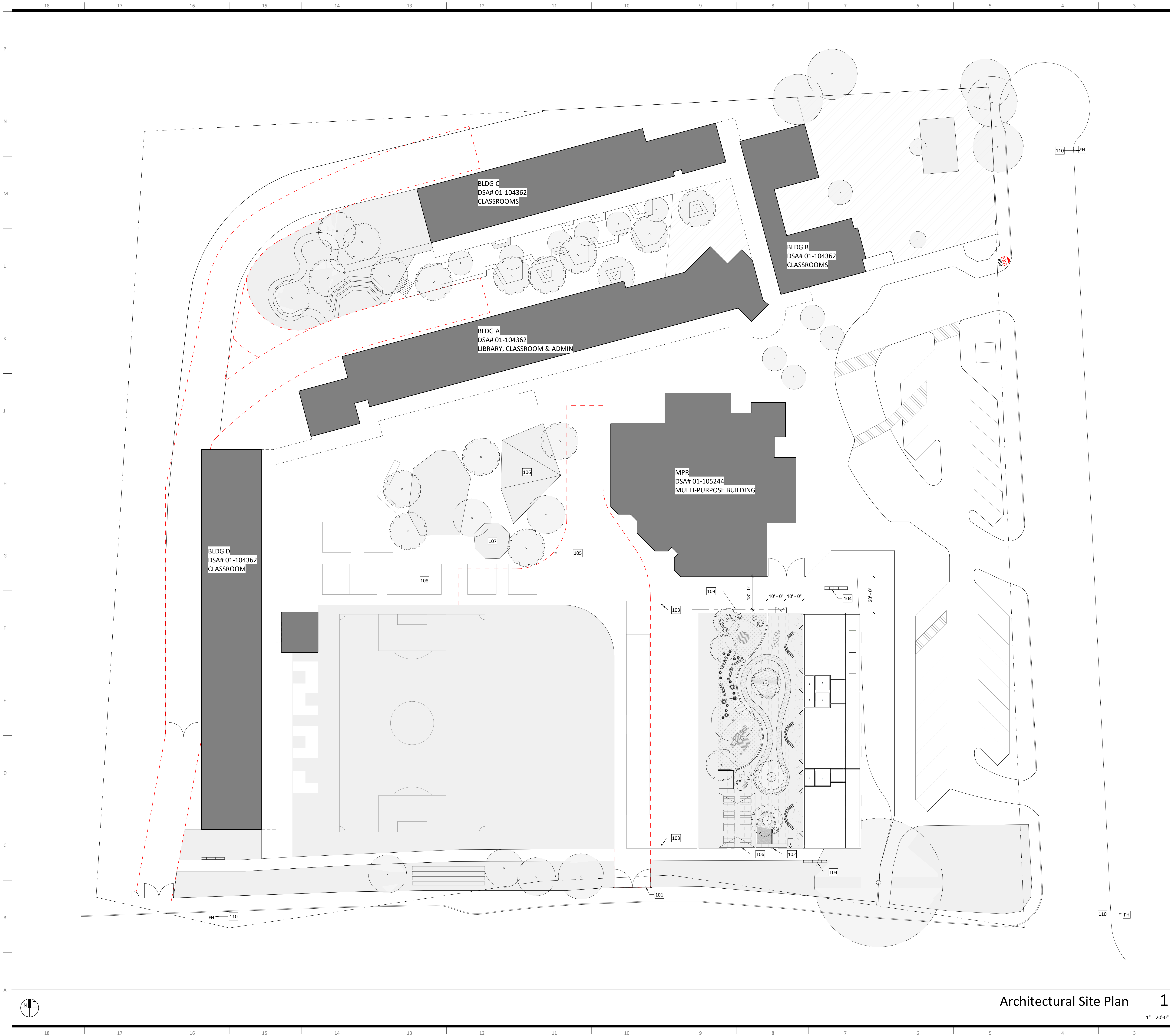
landscape architect:
BASE Landscape
145 A Lower Terrace
San Francisco, CA 94114
415.509.3728
www.baselandscape.com

electrical engineer:
The Engineering Enterprise
1305 Marina Village Pkwy
Alameda, CA 94501
510.769.7600
www.engent.com

Code Analysis

1

1" = 20'-0"



General Notes (Site Plan):	
1.	COORDINATE ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL/LANDSCAPE/STRUCTURAL DRAWINGS
2.	PROVIDE POSITIVE DRAINAGE OF 1% MINIMUM / 2% MAXIMUM AT ALL EXTERIOR PAVED PEDESTRIAN AREAS SUCH AS SIDEWALKS, PATIOS, STAIRS, ETC. UNLESS NOTED OTHERWISE
3.	PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING OF 5% FOR A DISTANCE OF 10 FEET UNLESS NOTED OTHERWISE
5.	FINISH GRADE SLOPES SHALL BE NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL UNLESS NOTED OTHERWISE.

Keynote Legend (Sheet)	
Key Value	Keynote Text
101	(323113) 20' CHAIN LINK FIRE GATE
102	(323119) 42" CHAIN LINK FENCE AROUND TK PLAY YARD, S.L.D.
103	(116833) BASKETBALL POST AND STRIPING, S.L.D.
104	(323315) SITE BICYCLE RACK, S.L.D.
105	20' FIRE LANE
106	(133123) SHADE STRUCTURE, S.L.D.
107	RELOCATED GAGA PIT
108	RELOCATED SITE PLAY EQUIPMENT
109	IMAGINARY PROPERTY LINE
110	FIRE HYDRANT TO REMAIN

multistudio

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civil engineer:
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255 Shoreline Drive, #200
Redwood City, CA 94065
650.482.6300
www.bkf.com/

landscape architect:
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145 A Lower Terrace
San Francisco, CA 94114
415.509.3728
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electrical engineer:
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Issue Date: June 6, 2023

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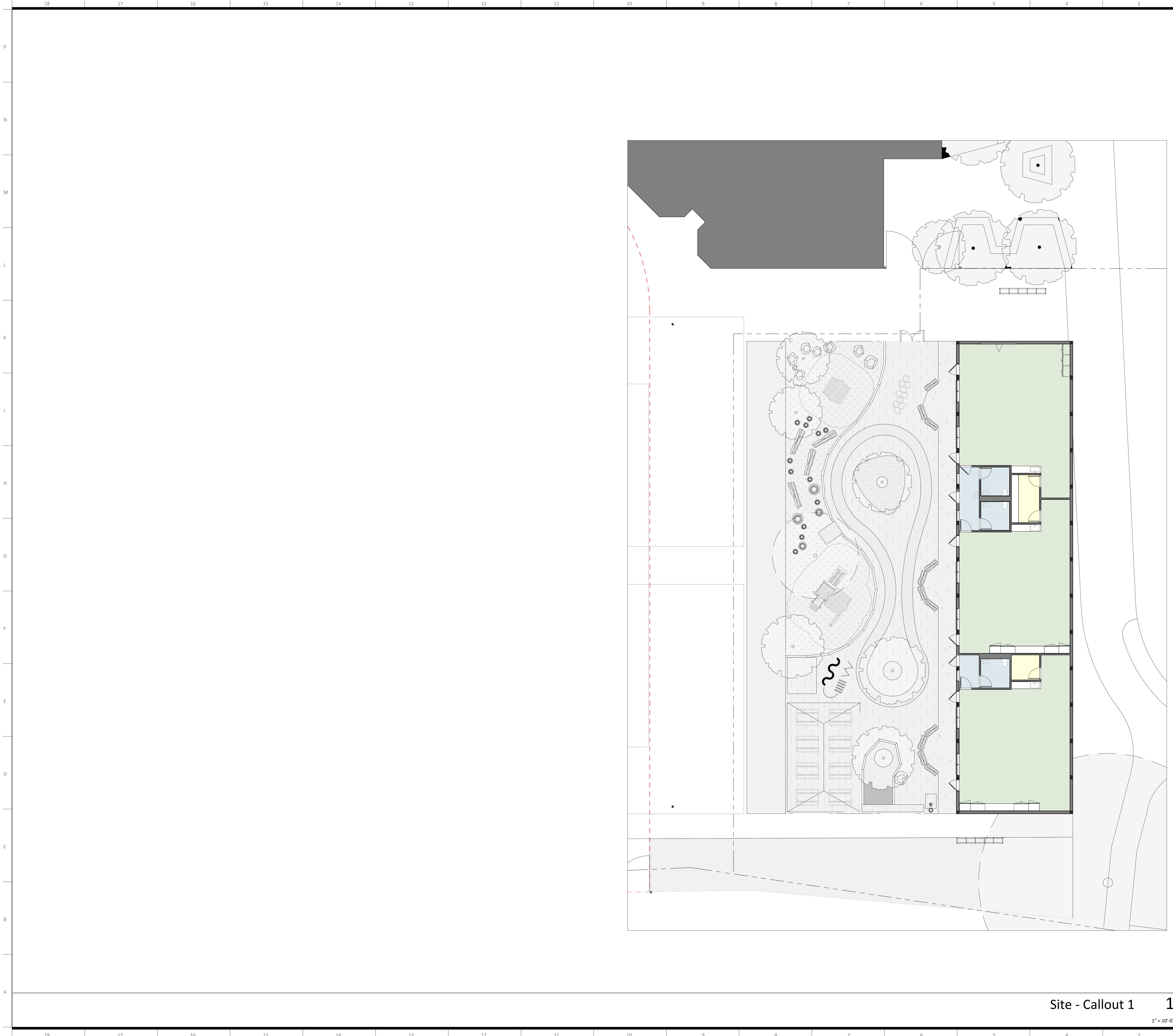
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Architectural Site Plan

AS100

Schematic Design



- General Notes (Site Plan):
- COORDINATE ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL/LANDSCAPE/STRUCTURAL DRAWINGS
 - PROVIDE POSITIVE DRAINAGE OF 1% MINIMUM / 2% MAXIMUM AT ALL EXTERIOR PAVED PEDESTRIAN AREAS SUCH AS SIDEWALKS, PATIOS, STAIRS, ETC. UNLESS NOTED OTHERWISE
 - PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING OF 5% FOR A DISTANCE OF 10 FEET UNLESS NOTED OTHERWISE.
 - FINISH GRADE SLOPES SHALL BE NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL UNLESS NOTED OTHERWISE.

multistudio

Sun Valley Elementary School

75 Happy Lane
San Rafael, CA 94901

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owner: San Rafael City Schools 310 Nova Alton Way San Rafael, CA 94903 415.492.3200 www.srscs.org	architect: Multistudio 156 South Park San Francisco, CA 94107 415.844.2110 multi.studio
civil engineer: BKF Engineers 255 Shoreline Drive, #200 Redwood City, CA 94065 650.482.6300 www.bkf.com/	landscape architect: BASE Landscape 145 A Lower Terrace San Francisco, CA 94114 415.509.3728 www.baselandscape.com
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Revisions

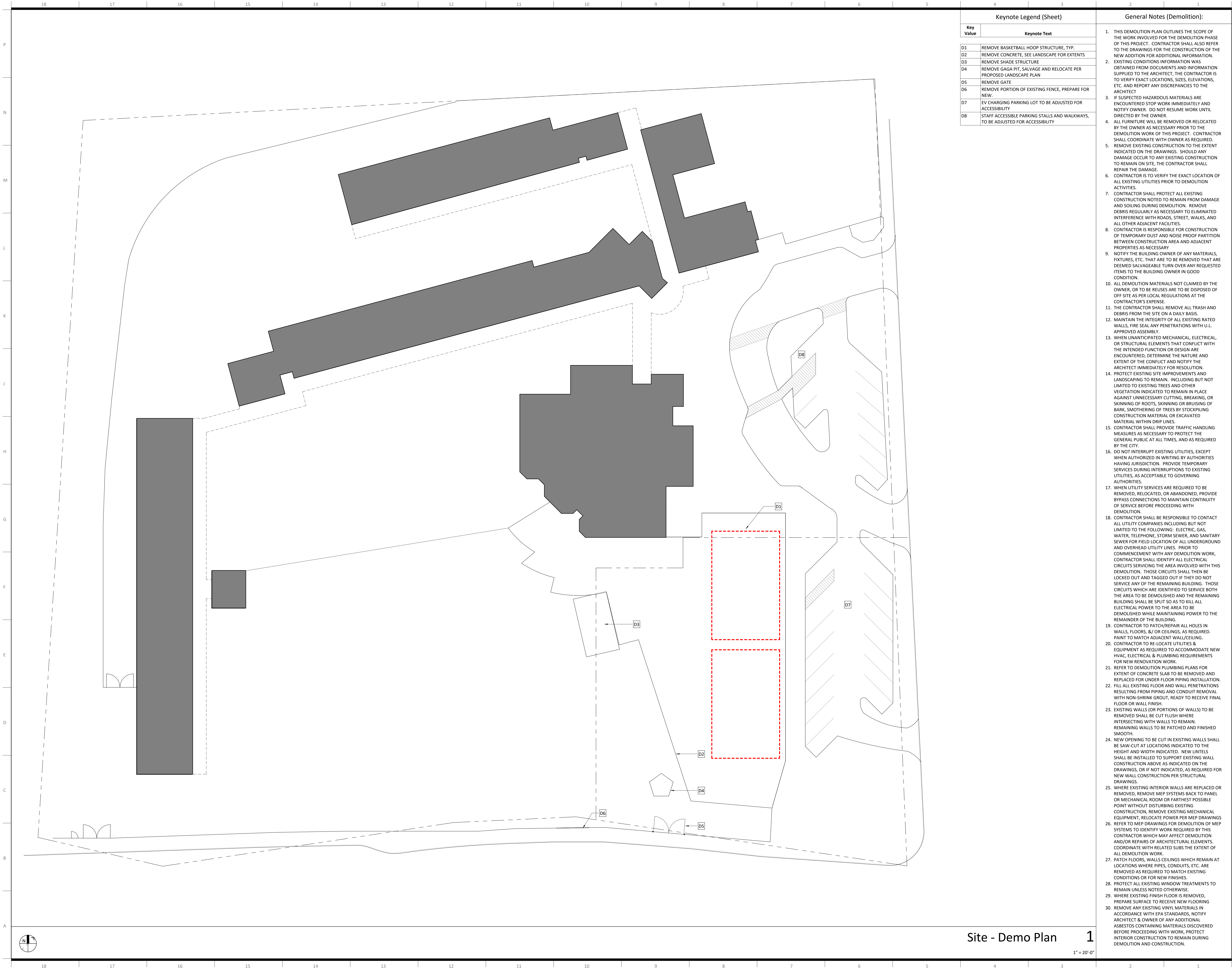
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NOT FOR
CONSTRUCTION

Enlarged Site Plan - TK
Play Yard
AS101

Schematic Design



Site - Demo Plan

1

Keynote Legend (Sheet)	
Key Value	Keynote Text
D1	REMOVE BASKETBALL HOOP STRUCTURE, TYP.
D2	REMOVE CONCRETE, SEE LANDSCAPE FOR EXTENTS
D3	REMOVE SHADE STRUCTURE
D4	REMOVE GAGA PIT, SALVAGE AND RELOCATE PER PROPOSED LANDSCAPE PLAN
D5	REMOVE GATE
D6	REMOVE PORTION OF EXISTING FENCE, PREPARE FOR NEW.
D7	EV CHARGING PARKING LOT TO BE ADJUSTED FOR ACCESSIBILITY
D8	STAFF ACCESSIBLE PARKING STALLS AND WALKWAYS, TO BE ADJUSTED FOR ACCESSIBILITY

- General Notes (Demolition):
- THIS DEMOLITION PLAN OUTLINES THE SCOPE OF THE WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL ALSO REFER TO THE DRAWINGS FOR THE CONSTRUCTION OF THE NEW ADDITION FOR ADDITIONAL INFORMATION.
 - EXISTING CONDITIONS INFORMATION WAS OBTAINED FROM DOCUMENTS AND INFORMATION SUPPLIED TO THE ARCHITECT. THE CONTRACTOR IS TO VERIFY EXACT LOCATIONS, SIZES, ELEVATIONS, ETC. AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
 - IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED STOP WORK IMMEDIATELY AND NOTIFY OWNER. DO NOT RESUME WORK UNTIL DIRECTED BY THE OWNER.
 - ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
 - REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN ON SITE, THE CONTRACTOR SHALL REPAIR THE DAMAGE.
 - CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
 - CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION NOTED TO REMAIN FROM DAMAGE AND SOILING DURING DEMOLITION. REMOVE DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND NOISE PROOF PARTITION BETWEEN CONSTRUCTION AREA AND ADJACENT PROPERTIES AS NECESSARY
 - NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. THAT ARE TO BE REMOVED THAT ARE DEEMED SALVAGEABLE TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD CONDITION.
 - ALL DEMOLITION MATERIALS NOT CLAIMED BY THE OWNER, OR TO BE REUSES ARE TO BE DISPOSED OF OFF SITE AS PER LOCAL REGULATIONS AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
 - MAINTAIN THE INTEGRITY OF ALL EXISTING RATED WALLS, FIRE SEAL ANY PENETRATIONS WITH U.L. APPROVED ASSEMBLY.
 - WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
 - PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN. INCLUDING BUT NOT LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
 - CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES AS NECESSARY TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AND AS REQUIRED BY THE CITY.
 - DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
 - WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
 - CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT WITH ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
 - CONTRACTOR TO PATCH/REPAIR ALL HOLES IN WALLS, FLOORS, &/ OR CEILINGS, AS REQUIRED. PAINT TO MATCH ADJACENT WALL/CEILING.
 - CONTRACTOR TO RE-LOCATE UTILITIES & EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL & PLUMBING REQUIREMENTS FOR NEW RENOVATION WORK.
 - REFER TO DEMOLITION PLUMBING PLANS FOR EXTENT OF CONCRETE SLAB TO BE REMOVED AND REPLACED FOR UNDER FLOOR PIPING INSTALLATION.
 - FILL ALL EXISTING FLOOR AND WALL PENETRATIONS RESULTING FROM PIPING AND CONDUIT REMOVAL WITH NON-SHRINK GROUT, READY TO RECEIVE FINAL FLOOR OR WALL FINISH.
 - EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
 - NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW UNTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS.
 - WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEP SYSTEMS BACK TO PANEL OR MECHANICAL ROOM OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION, REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEP DRAWINGS
 - REFER TO MEP DRAWINGS FOR DEMOLITION OF MEP SYSTEMS TO IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBS THE EXTENT OF ALL DEMOLITION WORK.
 - PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR FOR NEW FINISHES.
 - PROTECT ALL EXISTING WINDOW TREATMENTS TO REMAIN UNLESS NOTED OTHERWISE.
 - WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE SURFACE TO RECEIVE NEW FLOORING
 - REMOVE ANY EXISTING VINYL MATERIALS IN ACCORDANCE WITH EPA STANDARDS, NOTIFY ARCHITECT & OWNER OF ANY ADDITIONAL ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK, PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

multistudio

Sun Valley Elementary School

75 Happy Lane
San Rafael, CA 94901

Project Number: 1123-0020

owner: San Rafael City Schools 310 Nova Alton Way San Rafael, CA 94903 415.492.3200 www.srcs.org	architect: Multistudio 156 South Park San Francisco, CA 94107 415.844.2310 multi.studio
civil engineer: BKF Engineers 255 Shoreline Drive, #200 Redwood City, CA 94065 650.482.6300 www.bkf.com/	landscape architect: BASE Landscape 145 A Lower Terrace San Francisco, CA 94114 415.509.3728 www.baselandscape.com

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Issue Date: June 6, 2023

Revisions		
NUMBER	DESCRIPTION	DATE

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Demolition Site Plan

AD101

Schematic Design

Sun Valley Elementary School

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Revisions		
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A5001	Revision 1	12/31/2008

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Door & Window
Schedules

A080

Schematic Design

Window Schedule (Interior)

Mark	Size		Sill Height	Detail Type	Comments	Count
	Width	Height				
A	3'-0"	6'-0"	3'-0"			12
B	3'-0"	4'-0"	3'-0"			3
C	6'-0"	4'-0"	5'-0"			6
D	6'-0"	2'-0"	2'-6"			6

Window Types K13

1/4" = 1'-0"

TYPE "H" TYPICAL HM FRAME DOOR

SECTION

PLAN

Type "H" Typical HM Frame A13

1 1/2" = 1'-0"

Window Maneuvering Clearances A9

N.T.S.

Front Approach, Pull Side

Front Approach, Push Side
* If both closer and latch are provided

Front Approach, Sliding Door

Hinge Approach, Pull Side

Hinge Approach, Pull Side

Pocket or Hinge Approach, Sliding

Hinge Approach, pull side
* If both closer and latch are provided

Latch Approach, Pull Side
* If closer is provided

Stop or Latch Approach, Sliding

Latch Approach, Push Side
* If both closer and latch are provided

Door Maneuvering Clearances A9

N.T.S.

Door Schedule

Mark	Assembly				Size			Door			Frame		Comments	Latest Revision
	Fire Rating	Hardware Set	Detail Type	Rough Opening		Finished Opening		Leaf Type	Material	Finish	Material	Finish		
				Rough Width	Rough Height	Width	Height							
01				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
02				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
03				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
04				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
05				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
06				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
07				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
08				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
10				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
11				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
12				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
13				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
14				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
15				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
16				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
17				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						
18				3'-3"	7'-1 1/2"	3'-0"	7'-0"	1 3/4"						

TYPE "C" TYPICAL STOREFRONT DOOR

SECTION

PLAN

Door Detail - Type "C" Typical Storefront Door D6

1 1/2" = 1'-0"

TYPE "A" TYPICAL HM FRAME DOOR

SECTION

PLAN

Door Detail Types D3

1 1/2" = 1'-0"

Glazing Schedule - Basic

Mark	Description
HM2	Hollow Metal
HM1	Hollow Metal
HG	Half Glass - Single
F	Flush - Single

Frame Types A6

1/4" = 1'-0"

Door Types A3

1/4" = 1'-0"

Project Number: 1123-0020

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1. ALL WALL TYPES TO BE G-4, UNLESS OTHERWISE NOTED.
2. ALL WALL DIMENSIONS ARE TO FACE OF WALL UNLESS OTHERWISE NOTED.
3. MASONRY WALLS ARE NOMINALLY CENTERED ON GRID LINES AND MASONRY DIMENSIONS ARE NOMINAL UNLESS OTHERWISE NOTED.
4. DOORS IN STUD WALLS Nearer PERPENDICULAR WALLS ARE LOCATED AT 4'-0" FACE OF PERPENDICULAR WALL UNLESS OTHERWISE NOTED.
5. DOORS IN MASONRY WALLS ARE LOCATED IN ROUGH OPENINGS DIMENSIONED ON SHEET
6. SEE GENERAL ACCESSIBILITY SHEET FOR HEIGHTS AND LOCATIONS OF ALL ACCESSORIES NOT SHOWN ON ELSEWHERE.
7. CONTRACTOR TO FIELD VERIFY ALL MEASUREMENTS AND CONDITIONS NEW AND EXISTING. NOTIFY THE ARCHITECT/OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
8. ENLARGED PLANS MAY BE ROTATED OR MIRRORED COORDINATE WITH MAIN FLOOR PLAN.
9. CONTRACTOR TO PROVIDE 4'-0" HIGH PLYWOOD BACKER BOARD IN ALL MECHANICAL AND ELECTRICAL ROOMS TO MATCH 3'-6" A.F.F. FOR PERIMETER OF ROOM

1. REFER TO EXTERIOR ENCLOSURE TYPES FOR ROOF DETAILS.
2. MINIMUM SLOPES ON ROOF SHALL BE 1/4" PER FOOT IN DIRECTION OF DRAINS OR ROOF EDGE
3. ELEVATION ABBREVIATIONS AS FOLLOWS: **BOD** = BOTTOM OF DECK, **TOS** = TOP OF STEEL, **TOP** = TOP OF PARAPET
4. OBJECT ABBREVIATIONS AS FOLLOWS: **RD** = ROOF DRAIN, **RTU** = ROOFTOP UNIT, **RH** = ROOF HATCH
5. PROVIDE ALL ROOFING DETAILS BY MANUFACTURERS WARRANTED SYSTEMS.
6. PROVIDE WALKWAY PADS AT ALL ROOF LADDERS AND AT ALL ROOFTOP EQUIPMENT WALKING AREAS
7. PROVIDE CRICKETS AT ALL ROOFTOP EQUIPMENT TO FACILITATE DRAINAGE.

Issue Date: June 6, 2023

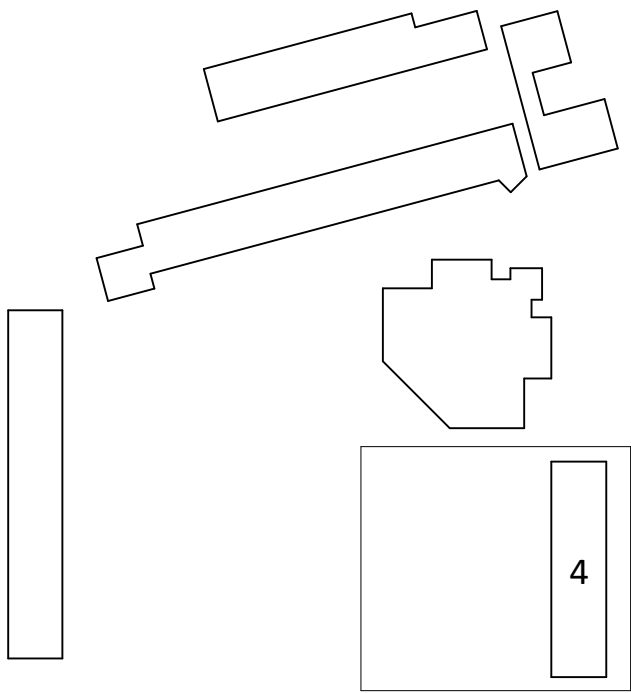
Revisions

NUMBER	DESCRIPTION	DATE
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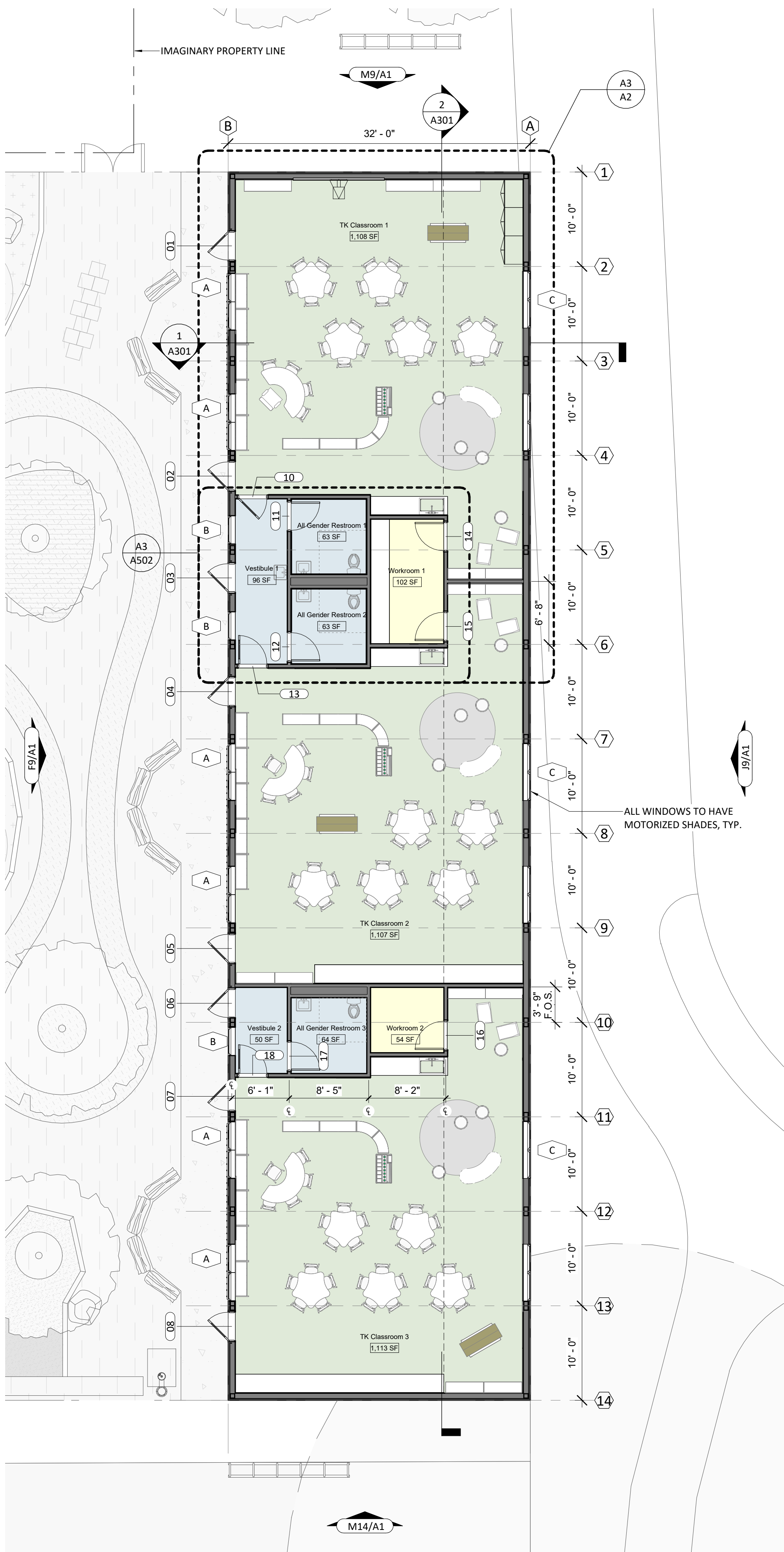
Key Plan:




Floor Plan & Roof Plan

A101

Schematic Design



-ALL WINDOWS TO HAVE
MOTORIZED SHADES, TYP



CLASSROOM FLOOR
LINOLEUM

STORAGE FLOOR
LINOLEUM

RESTROOM FLOOR
EPOXY

Roof Plan A11

$$1/8'' = 1' - 0''$$

TK Floor Plan A3

$$1/8'' = 1'-0''$$

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Issue Date: June 6, 2023

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Reflected Ceiling Plan

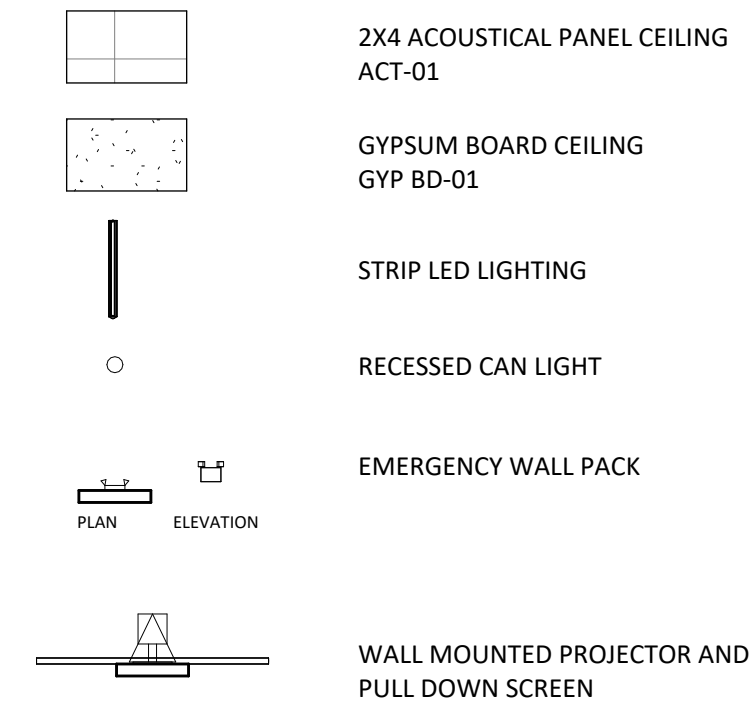
A150

Schematic Design

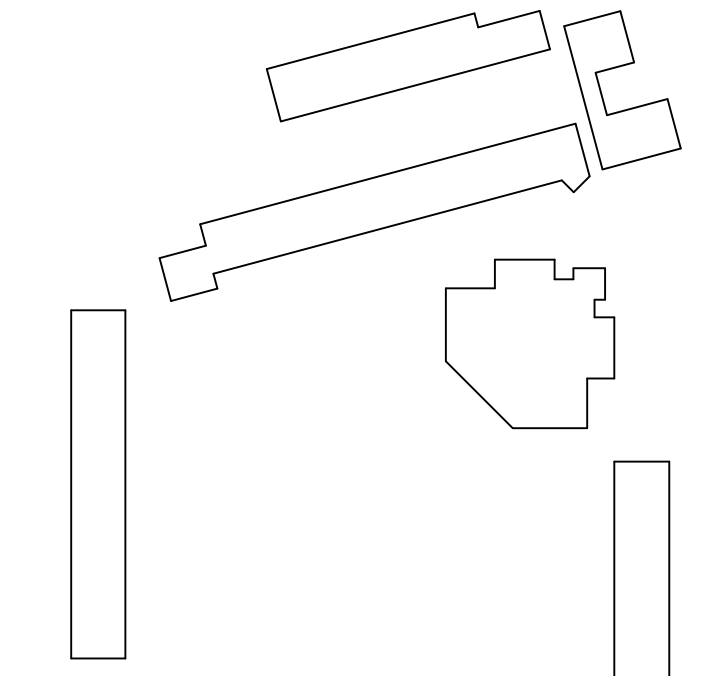
- General Notes (Reflected Ceiling Plans):

1. ALL CEILING AND SOFFIT HEIGHTS ARE GIVEN ABOVE FINISHED FLOOR ELEVATION (EL. 0'-0").
2. EXISTING CEILING MOUNTED LIGHT FIXTURES ARE SHOWN ON THIS PLAN. COORDINATE WITH MEP PLANS FOR ADDITIONAL INFORMATION.
3. SOME OR ALL SPRINKLERS MAY NOT BE SHOWN ON THIS PLAN. COORDINATE WITH MEP DRAWINGS FOR ADDITIONAL INFORMATION. SPRINKLER HEADS TO BE LOCATED ON CEILING TILE, TYP.
4. VERIFY LOCATIONS OF ALL CEILING ACCESS PANELS WITH MEP DRAWINGS. COORDINATE LOCATIONS OF ACCESS PANELS WITH ARCHITECTURE PRIOR TO INSTALLATION. ACCESS PANEL FIRE RATINGS MUST MATCH CEILING ASSEMBLY FIRE RATINGS.
5. LIGHTING FIXTURES TO BE CENTERED AND SPACED EQUALLY UNLESS NOTED OTHERWISE.
6. LIGHT FIXTURES AND ACCESS PANELS FOR MAINTENANCE PURPOSES ONLY COORDINATE WITH ELECTRICAL DRAWINGS FOR FIXTURE DESIGNATIONS.
7. IF PRODUCT INCLUDES FIRE RATED CEILINGS, LIGHT FIXTURES INSTALLED IN RATED CEILING ASSEMBLY ARE TO BE TESTED OR OTHERWISE RATED TO MATCH THE CEILING.

Lighting Fixture Legend:



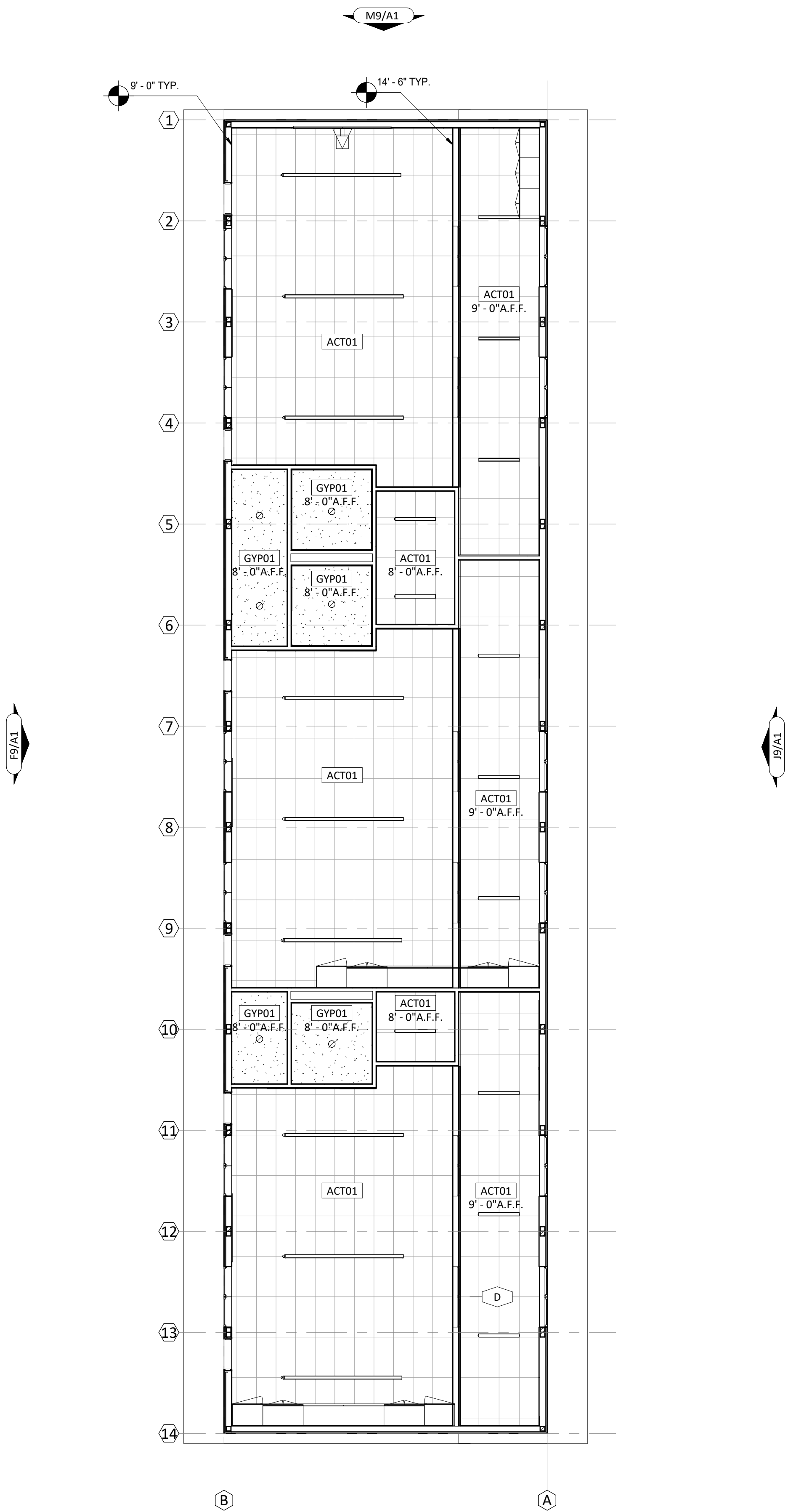
Key Plan:

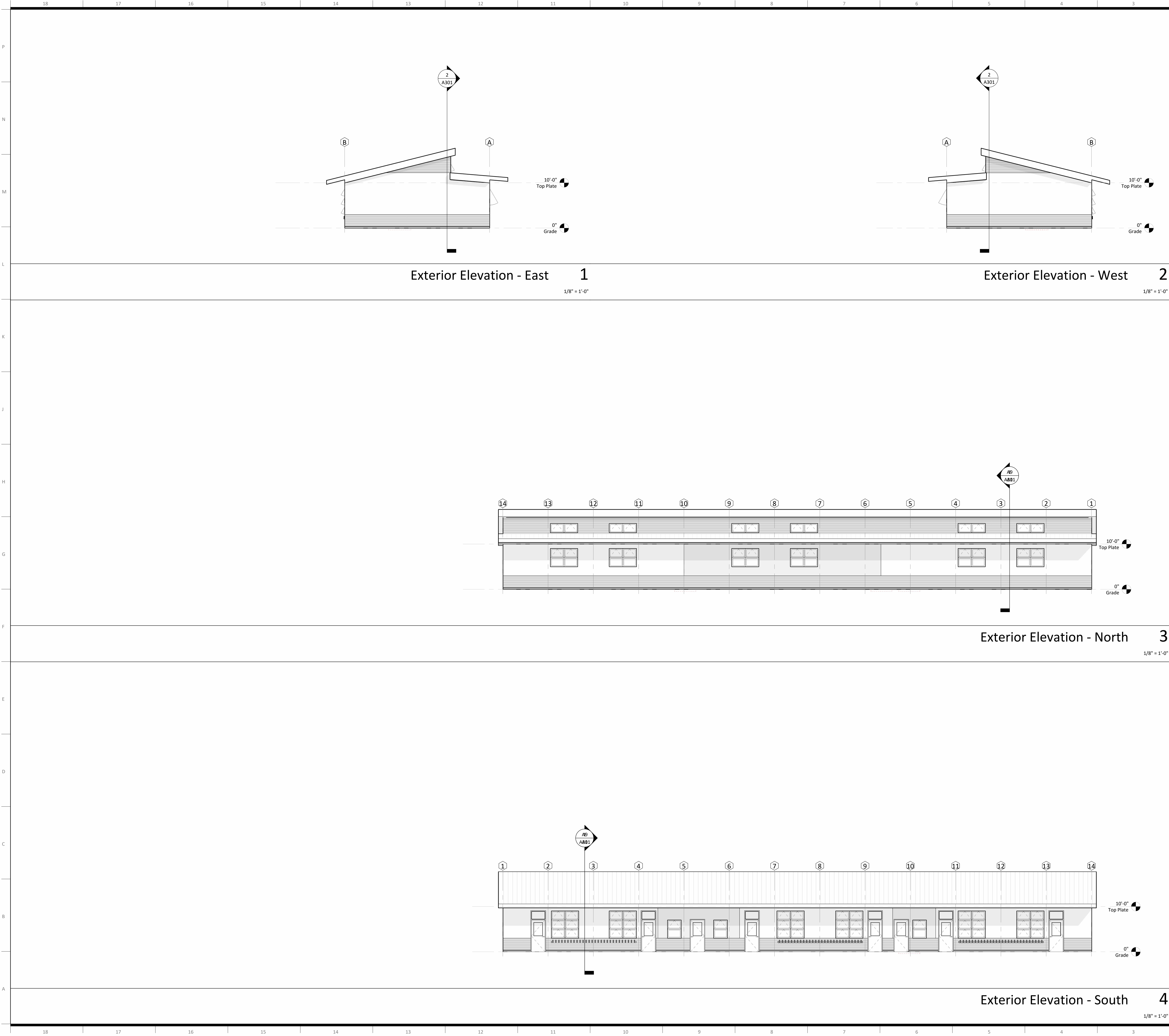


Reflected Ceiling Plan

1

1/8" = 1'-0'





General Notes (Exterior Elevations):

1. MATERIALS AND FINISHES INDICATED APPLY TO ALL SIMILAR ELEMENTS.
2. COORDINATE EXTERIOR LIGHTING FIXTURE TYPES AND LOCATIONS WITH ELECTRICAL DRAWINGS.

multistudio

Sun Valley Elementary School

75 Happy Lane
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Issue Date: June 6, 2023

Revisions

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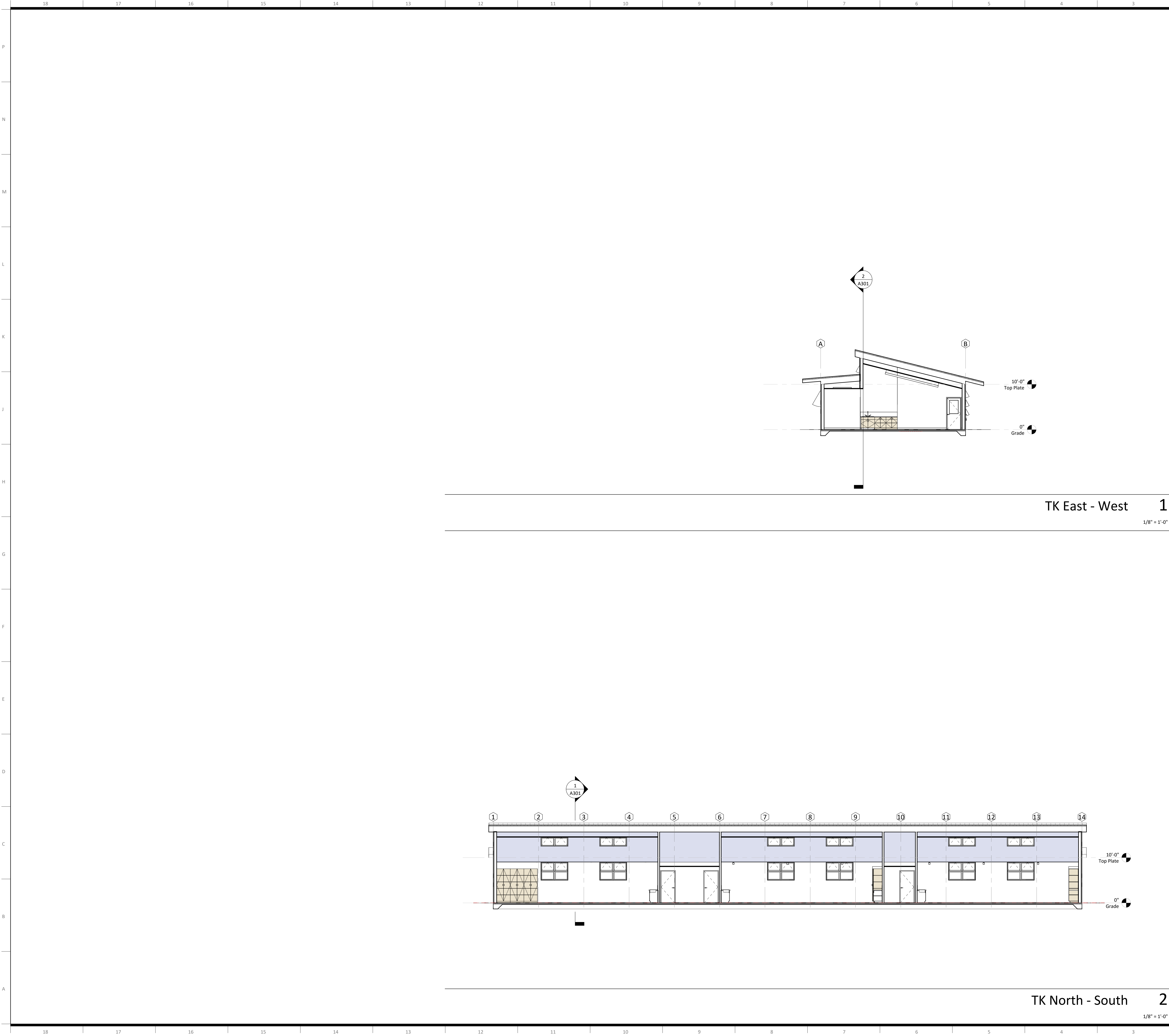
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Exterior Elevations

A201

Schematic Design



General Notes (Building Sections):

1. [INSERT NOTE HERE]

multistudio

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Building Sections
A301

Schematic Design

Sun Valley Elementary School

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Enlarged Plans - Typ Classroom

A501

Schematic Design

Keynote Legend (Sheet)

Key Value	Keynote Text
501	TACKABLE SURFACE, TYP.
502	WHITEBOARDS
503	SHORT THROW WALL MOUNTED PROJECTOR
504	CUBBY, ONE PER STUDENT MIN., TYP
505	MODULAR FURNITURE, TYP.
506	TEACHER DESK AND CHAIR
507	AREA RUG W/SOFT SEATING.
508	DRAMATIC PLAY STATION.

Classroom Elevation - North L11

1/4" = 1'-0"

Classroom Elevation - East H11

1/4" = 1'-0"

Classroom Elevation - South D11

1/4" = 1'-0"

Classroom Elevation - West A11

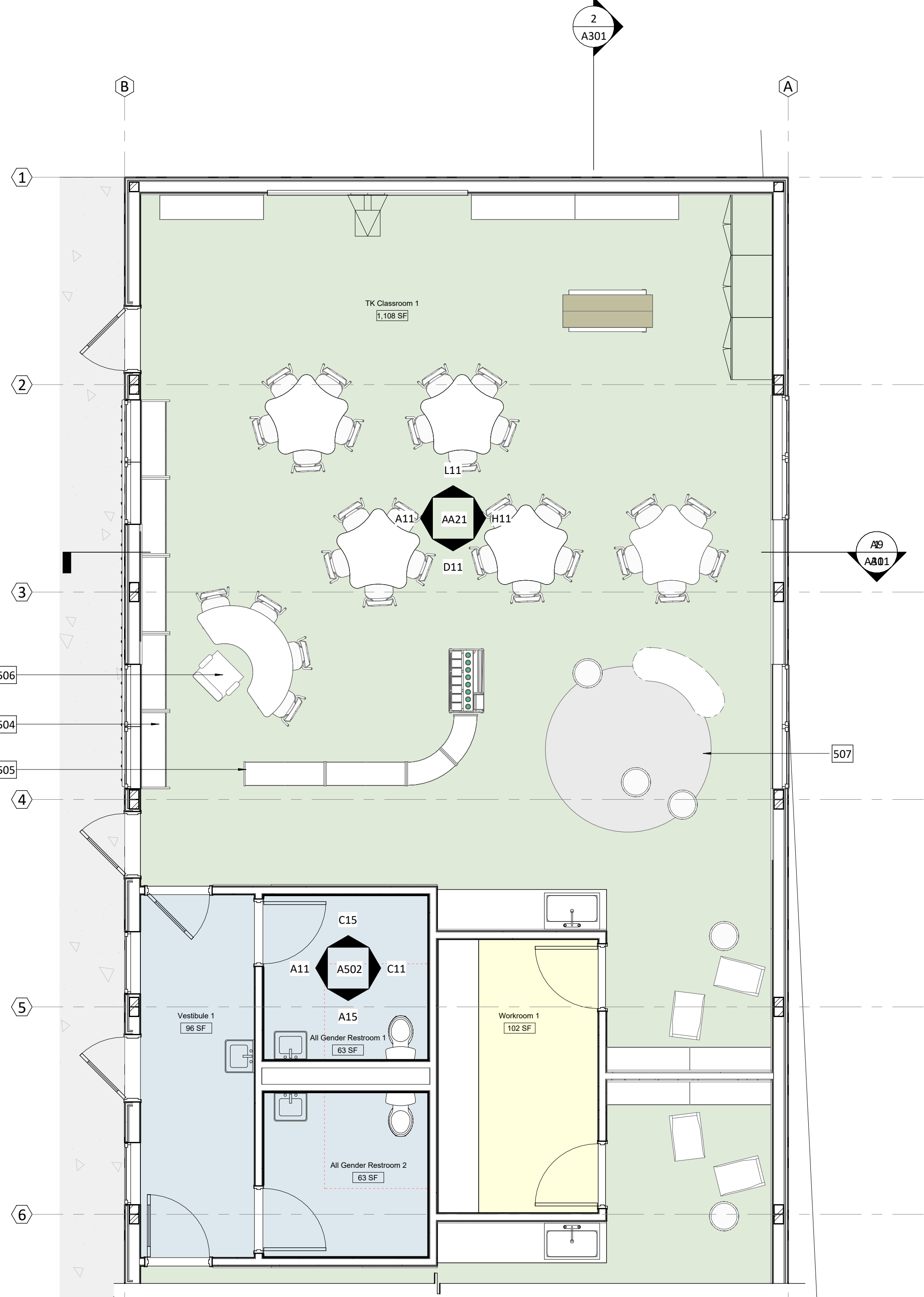
1/4" = 1'-0"

Enlarged Plan - Typ. Classroom A3

1/4" = 1'-0"

Key Plan A1

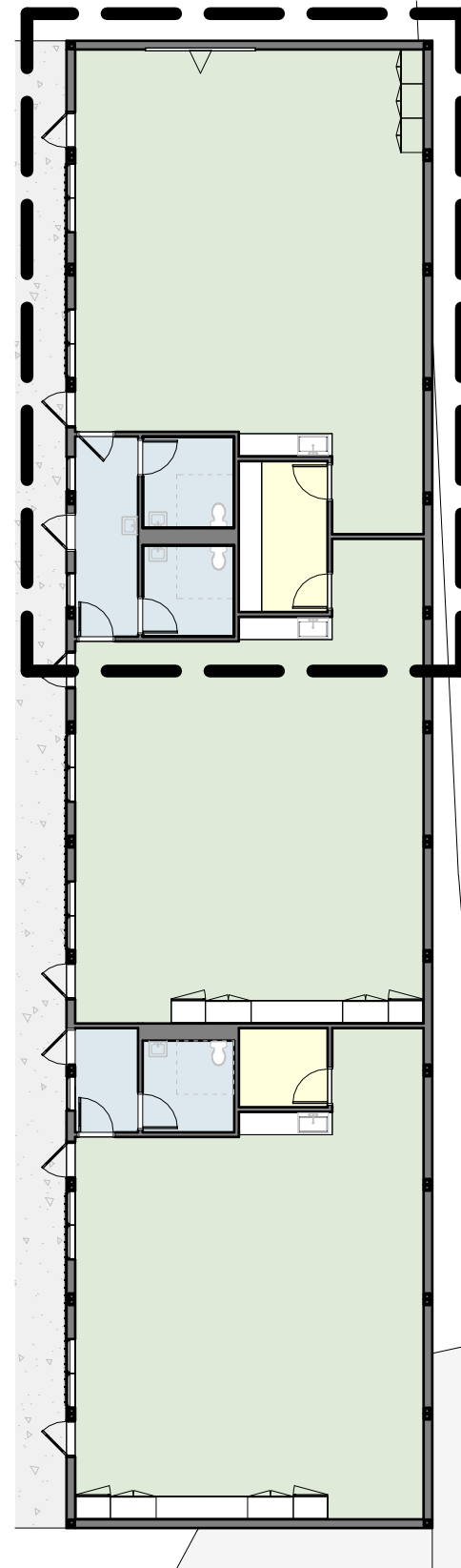
1/16" = 1'-0"



CLASSROOM FLOOR LINOLEUM

STORAGE FLOOR LINOLEUM

RESTROOM FLOOR EPOXY



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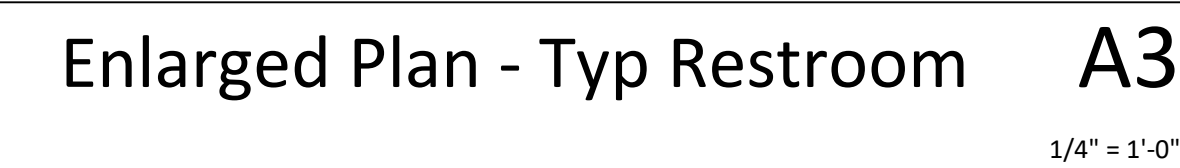
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A502

Schematic Design

General Notes (Interior Elevations):

1. REFER TO FINISH LEGEND/SCHEDULE FOR COMPLETE LISTING OF FINISHES
2. REFER TO PROJECT STANDARDS FOR INSTALLATION INFORMATION FOR ACCESSORIES, TOILET FIXTURES, ETC.
3. REFER TO PROJECT STANDARDS FOR DEVICES FOR TYPICAL INSTALLATION INFORMATION.
4. AT GYP SOFFIT CONTROL JOINTS, CONTINUE CONTROL JOINT UP BOTH VERTICAL FACES OF SOFFIT.



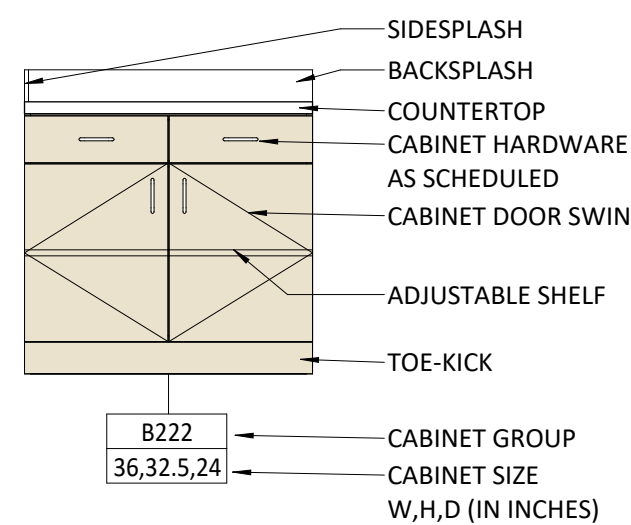
General Notes (Casework Standards):

1. ALL CASEWORK IS TO BE CONSTRUCTED TO MEET OR EXCEED ARCHITECTURAL WOODWORK INSTITUTE (AWI) STANDARDS.
2. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
3. PROVIDE RUBBER BASE AT ALL CABINET BASES, UNLESS NOTED OTHERWISE.
4. REFER TO INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR SPECIFIC MATERIAL LOCATIONS.
5. PROVIDE MOISTURE RESISTANT PLYWOOD AT COUNTERTOPS WITH SINKS.
6. SINKS SHOWN ON THESE DRAWINGS INDICATE LOCATIONS ONLY AND MAY NOTE REFLECT ACTUAL SIZES OR TYPES.
7. COORDINATE LOCATIONS OF ALL EQUIPMENT AND CONFIRM PROPER CLEARANCES. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
8. CENTER ALL SINKS IN THE ASSOCIATED CASEWORK, UNLESS NOTED OTHERWISE.
9. PROVIDE SIDE SPLASH WHERE COUNTERTOP ABUTS WALL, OR AT COUNTERTOPS WITH DIFFERENT HEIGHTS ABUT.
10. SEAL ALL JOINTS BETWEEN WORK SURFACES/CABINETS AND ADJOINING SURFACES.
11. PROVIDE IN WALL BLOCKING AS REQUIRED FOR UPPER CABINETS.
12. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
13. FIELD COORDINATE LOCATIONS OF GROMMETS IN COUNTERTOPS WITH OWNER/ARCHITECT.
14. PROVIDE FINISHED CLOSURE PANELS AT EXPOSED END CONDITIONS.
15. PROVIDE FILLER PANEL/SCRIBE AT ALL LOCATIONS WHERE CASEWORK MEETS A WALL.
16. PROVIDE LOCKS AT ALL CABINET DOORS. FINAL LOCK COORDINATION WILL BE DONE BY OWNER/ARCHITECT DURING SHOP DRAWING PROCESS.
17. ALL PENETRATIONS THROUGH CASEWORK SHALL BE SEALED OR COVERED WITH AN ESCUTCHEON.

CASEWORK CABINET GROUPS:

- B BASE CABINET
BS BASE SCRIBE
T TALL CABINET
- U UPPER CABINET
US UPPER SCRIBE

Casework Legend



Plan Detail - Typical Scribe L15

12" = 1'-0"

Standard Lock and Pull Locations L3

1 1/2" = 1'-0"

Casework Face Details H15

1 1/2" = 1'-0"

Typical Countertop Support Bracket H11

1 1/2" = 1'-0"

Cabinet Types - Upper H3

3/4" = 1'-0"

Casework Schedule

Mark	Width	Height	Depth
Base-101-Single	24"	32 1/2"	24"
Base-102-Double	30"	32 1/2"	24"
Base-154-Double for ADA Sink	36"	32 1/2"	24"
B154 Counter Top		34"	24"
Fascia1			
Fascia2			
Tall-401-Single	36"	90"	26"
Tall-402-Double	<varies>	90"	24"

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Revisions

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Casework Standards

A600

Schematic Design

Cabinet Types - Tall D3

3/4" = 1'-0"

Cabinet Types - Base A3

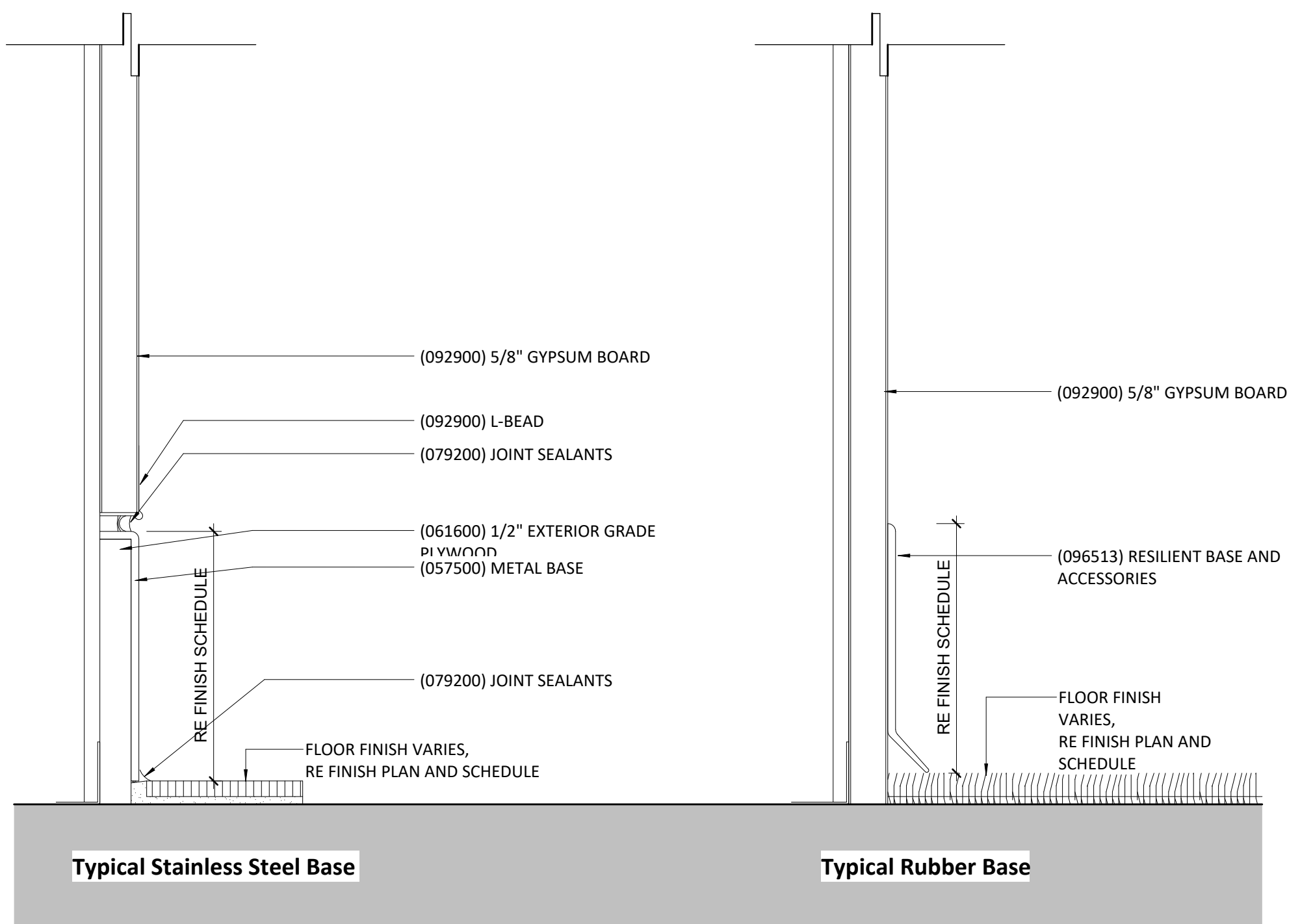
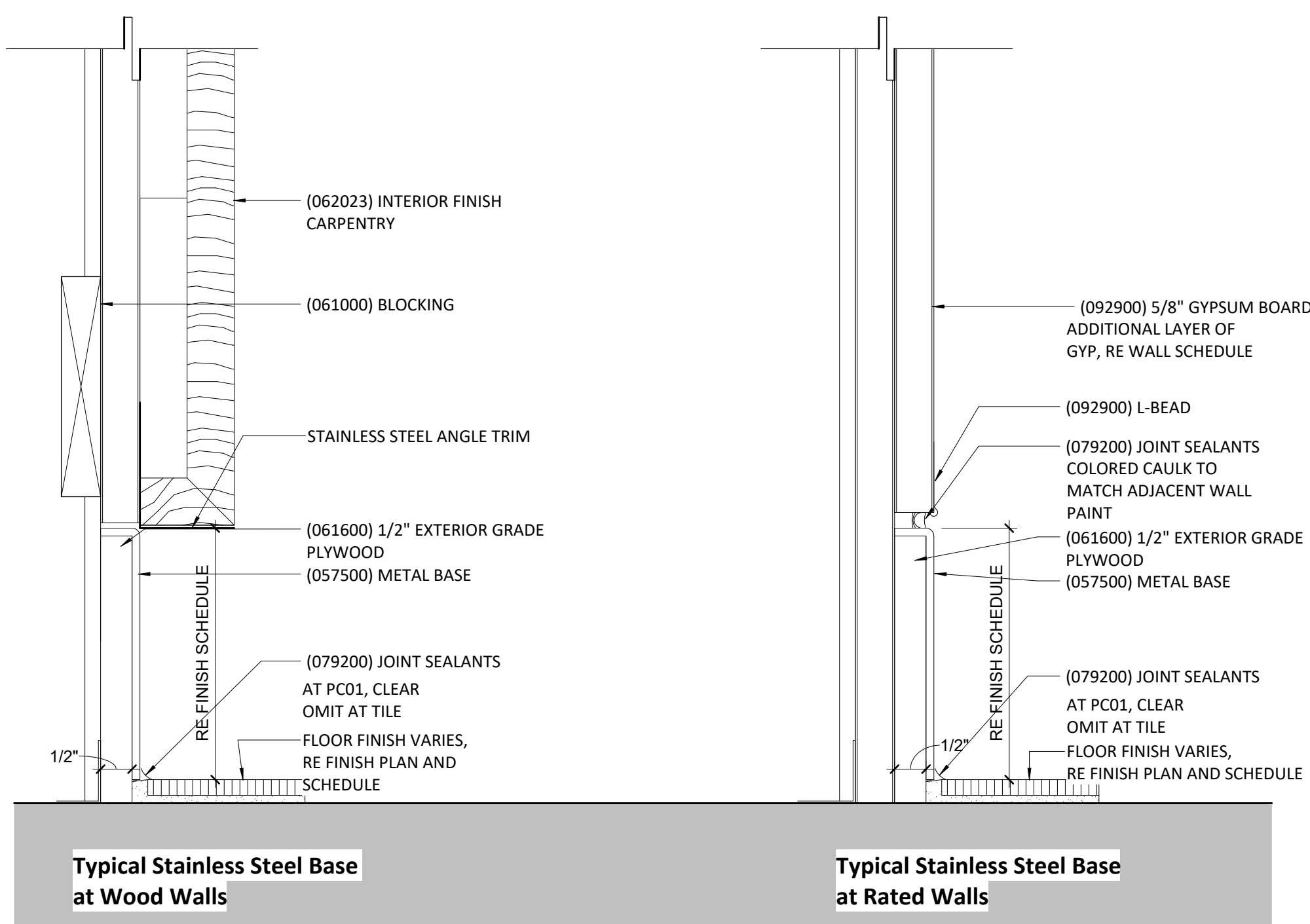
3/4" = 1'-0"

Project Number: 1123-0020

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Finish Legend - Interiors					
Mark	Red List Free	Manufacturer	Model	Comments	Latest Revision
064023 INTERIOR ARCHITECTURAL WOODWORK					
MEL01			WHITE MELAMINE		
PL01		TBD	TBD		
074646 FIBER CEMENT PANELS					
FCP1		EXPOSED CAST IN PLACE CONCRETE		RE: STRUCTURAL	
095113 ACOUSTICAL PANEL CEILINGS					
ACT01		USG	MARS CLIMA PLUS HIGH NRC	COLOR: WHITE, SIZE: 24" X 24" x 1", EDGE: SLT	
096500 RESILIENT FLOORING AND ACCESSORIES					
RB-01		TBD	TBD	4" COVE BASE	
096723 RESINOUS FLOORING					
EPX-1		TBD	TBD		
099000 PAINTING					
EPT01		KELLY-MOORE	TBD	EXTERIOR PAINT - FIELD COLOR	
EPT02		KELLY-MOORE	TBD	EXTERIOR PAINT - ACCENT COLOR	
PT01		KELLY-MOORE	TBD	INTERIOR PAINT - FIELD COLOR	
PT02		KELLY MOORE	TBD	INTERIOR PAINT - ACCENT COLOR	
Default Glass					
NA					

Finish Schedule						
Room Number	Room Name	Finish				Comments
		Floor	Base	Wall	Ceiling	
Grade						
1	TX Classroom 1					
2	TX Classroom 2					
3	TX Classroom 3					
5	All Gender Restroom 1					
6	All Gender Restroom 2					
7	Vestibule 1					
8	Workroom 2					
9	All Gender Restroom 3					
10	Vestibule 2					
13	Workroom 1					



Wall Base Details A13

$$6'' = 1' \cdot 0''$$

General Notes (Finishes):

1. ALL FINISH MATERIALS MUST MEET THE FLAME SPREAD RATINGS PER THE BUILDING CODE.
2. REFER TO THE SPECIFICATIONS FOR SPECIFIC MATERIAL LOCATIONS.
3. REFERENCED FLOOR/WALL/CEILING TYPES ARE FOR TOP FLOOR/LAYER DETAILS ONLY. REFER TO THE FOUNDATIONAL AND STRUCTURAL DRAWINGS FLOOR FLOOR/WALL/CEILING ASSEMBLY DETAILS PER LOCATION.
4. PAINT ALL EXPOSED DUCTWORK, CONDUIT, ELECTRICAL EQUIPMENT, ETC TO MATCH ADJACENT SURFACES.
5. PAINT ALL NON-FACORY FINISHED EXPOSED METAL.
6. REFER TO TYPICAL FLOORING TRANSITION DETAILS.
7. FLOORING TRANSITIONS AT DOORS SHOULD BE LOCATED UNDER THE DOOR IN THE CLOSED POSITION, UNLESS NOTED OTHERWISE.
8. CONTINGENCY SHALL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
9. PROVIDE BULLNOSE TRIM AT TRANSITIONS FROM CERAMIC TILE TO OTHER MATERIAL, UNLESS NOTED OTHERWISE.
10. REFER TO ELECTRICAL CEILING PLANS FOR CEILING HEIGHTS.
11. ALL REFLECTED CEILING COVERS ARE TO BE WHITE UNLESS NOTED OTHERWISE.
12. CARPET PATTERNS TO RUN PARALLEL TO CORRIDOR, UNLESS NOTED OTHERWISE.
13. ALL METAL DOOR AND WINDOW FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR.

Issue Date: June 6, 2023

Revisions

NUMBER	DESCRIPTION	DATE
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UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION

NOT FOR
CONSTRUCTION

Finish Legend & Details

AF001

Schematic Design